



# Ventura County Cultural Heritage Board

## Special Meeting Agenda Thursday, September 15, 2011

Notice is hereby given that on Thursday, September 15, 2011 at 1:15pm, the Cultural Heritage Board will convene for a public hearing at the Ventura County Government Center, Administration Building, Third Floor, Room 331 located at 800 S. Victoria Avenue, Ventura. Members of the public are welcome to attend.

### 1. ROLL CALL

Patricia Havens, Ricki Mikkelsen, John Kulwicz, Don Shorts, Gary Blum, Stephen Schafer, Miguel Fernandez

### 2. ORAL COMMUNICATIONS

Discussion is limited to items not on this agenda which are within the purview of the Board. Each speaker is allowed 5 minutes. Board may question the speaker but there will be no debate or decision. Staff may refer the matter for investigation and report.

### 3. APPROVAL OF MINUTES

None

### 4. CONVENE THE MEETING OF THE OXNARD CULTURAL HERITAGE BOARD

a) Oxnard 1981 Survey Area, 527 W. Fifth Street, Oxnard, Jose Garcia

**Action:** Consider Certificate of Review for New Construction of Rear Residence over a Proposed Four Car Garage, Removal of a Palm Tree, and Front Residence Renovation, Project No. 11-355

b) Oxnard 1981 Survey Area, 226 W Magnolia Avenue, Oxnard, Raul Orozco

**Action:** Consider Certificate of Review for New Construction of Rear Addition to Existing Single Family Residence, Proposed Two Car Garage, and Renovate the Existing Single Family Residence, Project No. 11-356

### 5. DISCUSSION

- a) Comments from Board Members
- b) Staff Update

### 6. MEETING ADJOURNMENT

In Compliance with the Americans with Disabilities Act, if you need special assistance to participate in this meeting, please contact Nicole Doner at 805-654-5042. Reasonable advance notification of the need for accommodation prior to the meeting (48 hours advance notice is preferable) will enable us to make reasonable arrangements to ensure accessibility to this meeting.

**OXNARD CULTURAL HERITAGE BOARD  
STAFF REPORT AND RECOMMENDATIONS  
AGENDA OF SEPTEMBER 15, 2011  
ITEM NO. 4a**

**SUBJECT:**

Oxnard 1981 Survey Area, 527 W. Fifth Street, Request for a Certificate of Review for New Construction of a Rear Residence over a Four-Car Garage, Renovation of Existing Front Residence and Removal of a Palm Tree, Project No. 11-355

**APPLICANT:**

Alejo Barragan  
Barragan Designs  
435 Precy  
Oxnard, CA 93033

**PROPERTY OWNER:**

Jose Garcia  
1106 Walnut Drive  
Oxnard, CA 93036

**REQUEST:**

The applicant is requesting a Certificate of Review to construct a new rear residence over a proposed four-car garage, renovate the existing single family dwelling, and remove a palm tree located at 527 West Fifth Street in downtown Oxnard.

**LOCATION AND PARCEL NUMBER:**

527 West Fifth Street, Oxnard, CA/APN: 202-0-086-080

**BACKGROUND:**

The subject property was surveyed in the Phase I, Oxnard Survey, 1981 and is rated 5D2, as a contributor to a district that is eligible for local listing or designation. The single story bungalow was constructed in 1904 for Bendix and Anna Holst. It contains the following features: medium pitched slightly flared hipped roof with offset gable and narrow clapboard siding. The front porch has been enclosed and one front window and one side (east elevation) window have been replaced with aluminum framed windows at an unknown time in the past. The other front windows are boarded with plywood because of broken glass but the wood window frames are intact. The front leaded glass window still remains intact. Other than the items stated above, the house appears to remain in fair physical condition.

The 500 block of Fifth Street is a mixture of circa 1900 to 1930's single and multi-residential structures and 1940-1980's commercial businesses including the Oxnard Housing Authority offices. The adjacent house on the east (521 W Fifth) is a stucco bungalow with a red tile roof (unknown age) that appears to have been left unattended for some time. The adjacent house



on the west (535 W Fifth) is a California bungalow built in 1911 and has been relatively left intact and is considered a contributing site.

## **PROJECT ANALYSIS**

### **Front Residence Renovation:**

The applicant proposes to renovate the existing main dwelling fronting Fifth Street by:

- Replacing existing damaged siding on the front of the house facing Fifth Street with redwood siding to match;
- Repairing the glass in the front windows;
- Maintaining the existing front leaded glass window;
- Replacing the side and rear windows with vinyl slider windows;
- Installing new composition roofing;
- Retaining the original front door;
- Replacing the contemporary back door with a new contemporary back door; and
- Replacing the narrow clapboard siding with stucco siding on the east and west elevations;
- Removal of a Palm tree placed too close to the residence

### **Proposed Rear Residence and Four Car Garage:**

The applicant proposes to construct a residence over a four car garage to be located in the rear of the subject property. The proposed dwelling will consist of four bedrooms and two baths of a contemporary style with minimal detailing. The new residence will contain Hardi-plank siding on the north and south elevations, stucco siding on the east and west elevations, and vinyl slider windows (Exhibits 2, 3 and 4 – Site, Floor and Elevation Plans). The lot is a standard sized lot of 50 feet wide by 140 feet long.

## **The Significance of the New Construction and the Secretary of the Interior Standards and Guidelines Review**

The Cultural Heritage Ordinance (Sections 1364-12 and 1366-3) and the Board of Supervisors approved Certified Local Government Agreement requires that your Board use the Secretary of the Interior Standards for Rehabilitation to review projects. The Board's review must be based upon the Standards.

New Construction. The Illustrated Standards for Rehabilitating Historic Buildings recommend that "New construction and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired." (p. vii)

The Standards further indicate the following is not recommended:

*"Introducing new construction onto the building site which is visually incompatible in terms of size, scale, design, materials, color and texture; which destroys historic relationships on the site; or which damages or destroys important landscape features."*  
(p. 74)

*"It should be clear that new construction is not historic."*

**Staff Comment:**

Proposed Rear Residence and Four Car Garage: The new residence above the proposed four car garage would be located in the rear of the property. The massing and height of the garage and dwelling addition above appear to be acceptable given the site conditions and the distance from the rear structure and Fifth Street. The new addition will be visible to a small degree when the home is viewed obliquely from the east.

Staff finds that the proposed rear residence's vinyl slider windows would be considered inconsistent with the Secretary of the Interior's Standards for Rehabilitation (Standards) Number 9 as it would be incompatible with the existing historic neighborhood.

*9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.*

Staff recommends the Board provide comment that the property owner should install compatible and energy-efficient replacement windows that match the appearance, size, design, proportion and profile of the existing historic windows and add detailing to the new residence.

Front Residence Renovation: The proposed renovation of the existing front residence would repair, protect, and maintain those architectural features located on the front of the existing residence that faces Fifth Street consistent with the Standards (Number 9). However, staff finds that the replacement of the existing front residence's side and rear wood windows with vinyl sliders and the replacement of the clapboard siding along the east and west (side) elevations with stucco siding are inconsistent with the Standards (Number 5).

*5. Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a property shall be preserved.*

These proposed rear and side windows are not of historic materials or design. Staff recommends the applicant provide double or single hung windows that match the appearance, size, design, proportion and profile of the existing historic windows and repair and maintain the existing narrow clapboard siding.

**Cultural Heritage Ordinance**

In taking the steps noted above your Board must also make the specific Ordinance finding which logically follows to approve or deny the project.

For **approval** the following finding must be made:



Section 1366-3(a) states: *"The proposed work will neither adversely affect the significant architectural features nor adversely affect the character of historical, architectural or aesthetic interest or value of the potentially eligible Cultural Heritage site."*

OR For **denial** one or both of the following findings must be made:

Section 1366-7(a) states: *"The proposed project is to remove or demolish a potentially eligible Cultural Heritage site that is determined by the Cultural Heritage Board to be significant and important to the history of the County."*

## **PUBLIC COMMENTS**

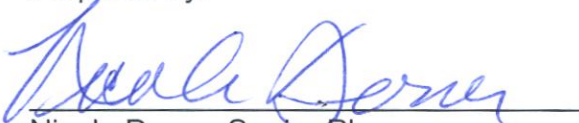
No public comment regarding this application has been received

## **RECOMMENDATION ACTIONS:**

1. Conduct public hearing, hear testimony, and consider the staff report;
2. Make findings by motion as required by the Ordinance and based on the evidence presented, to provide comments to the owner, or provide other direction.

The owner must be given the opportunity to plead economic hardship as provided by Ordinance Section 1366-3(d). The Cultural Heritage Board's action will be final unless appealed to the City within 15 days of notification of the decision (Section 1366-7.c).

Prepared by:

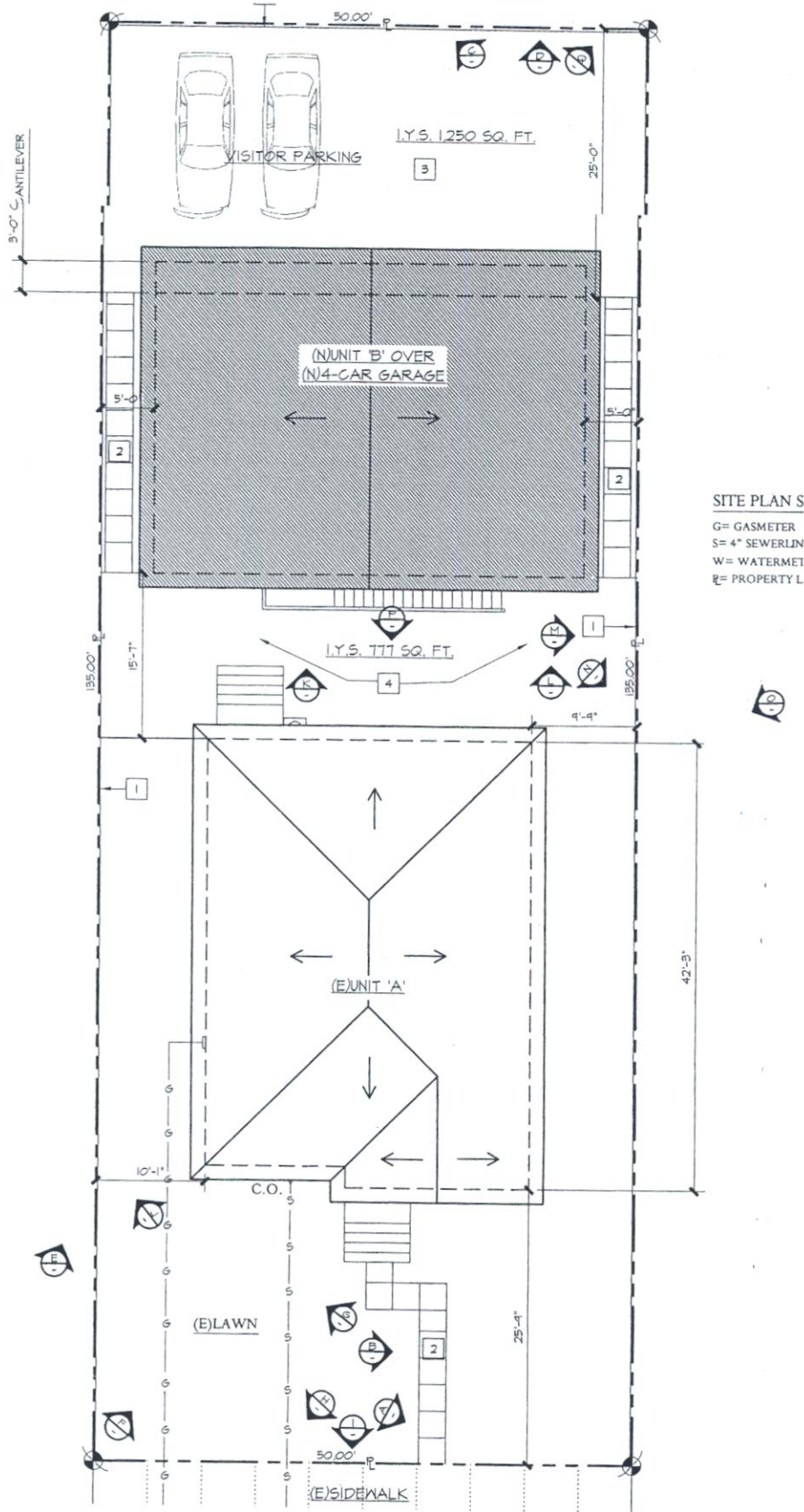


Nicole Doner, Senior Planner  
805-654-5042

## Attachments:

Exhibit 2 Site Plan,  
Exhibit 3: Floor Plans  
Exhibit 4: Elevations  
Exhibit 5: Photos

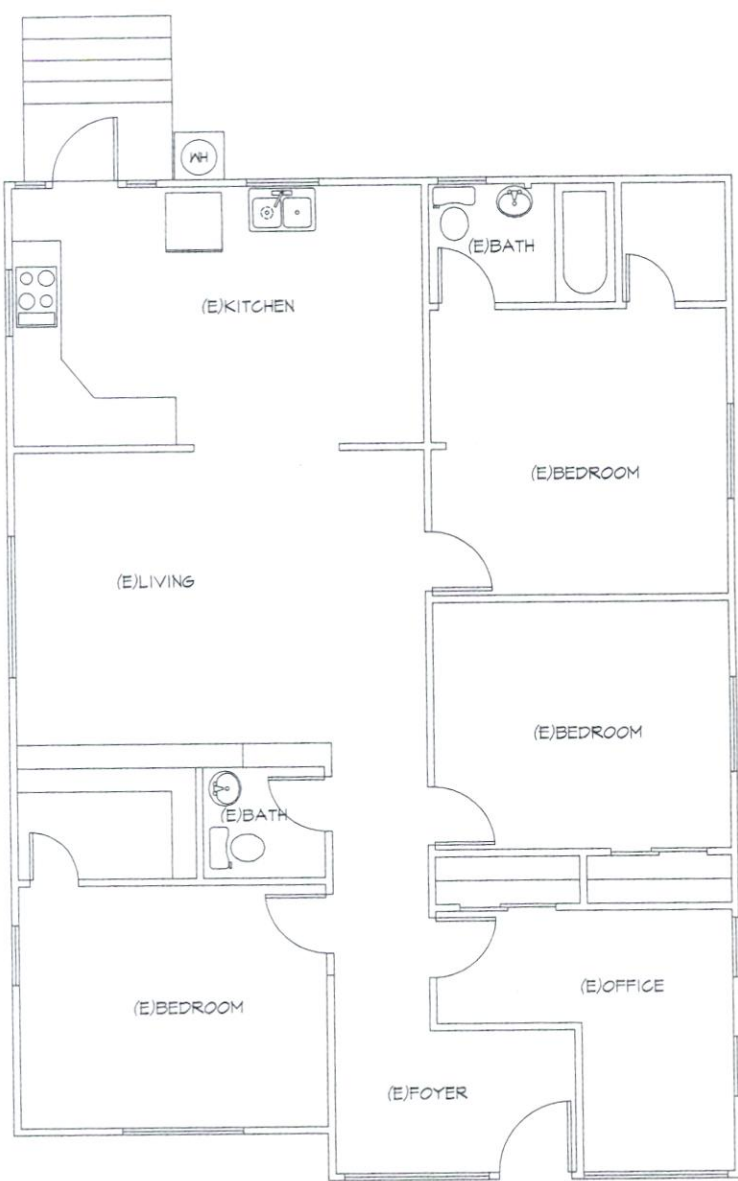
cc: Sue Martin, City of Oxnard Planning Department  
Jose Garcia 1106 Walnut Drive, Oxnard, CA 93036



527 W FIFTH ST  
OXNARD

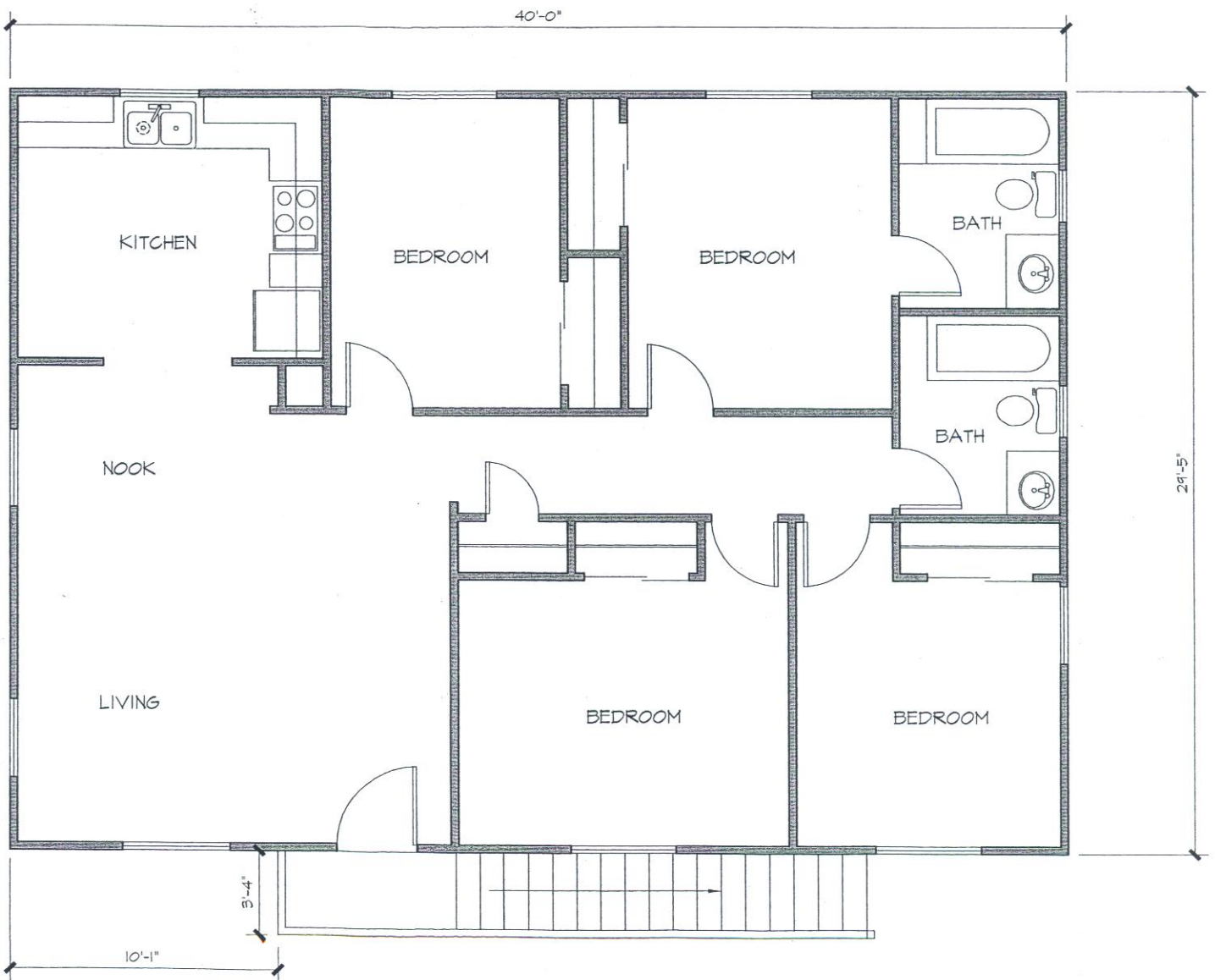
Exhibit 2





**(E)UNIT 'A' FLOOR PLAN**

SCALE 1/4":1'-0"



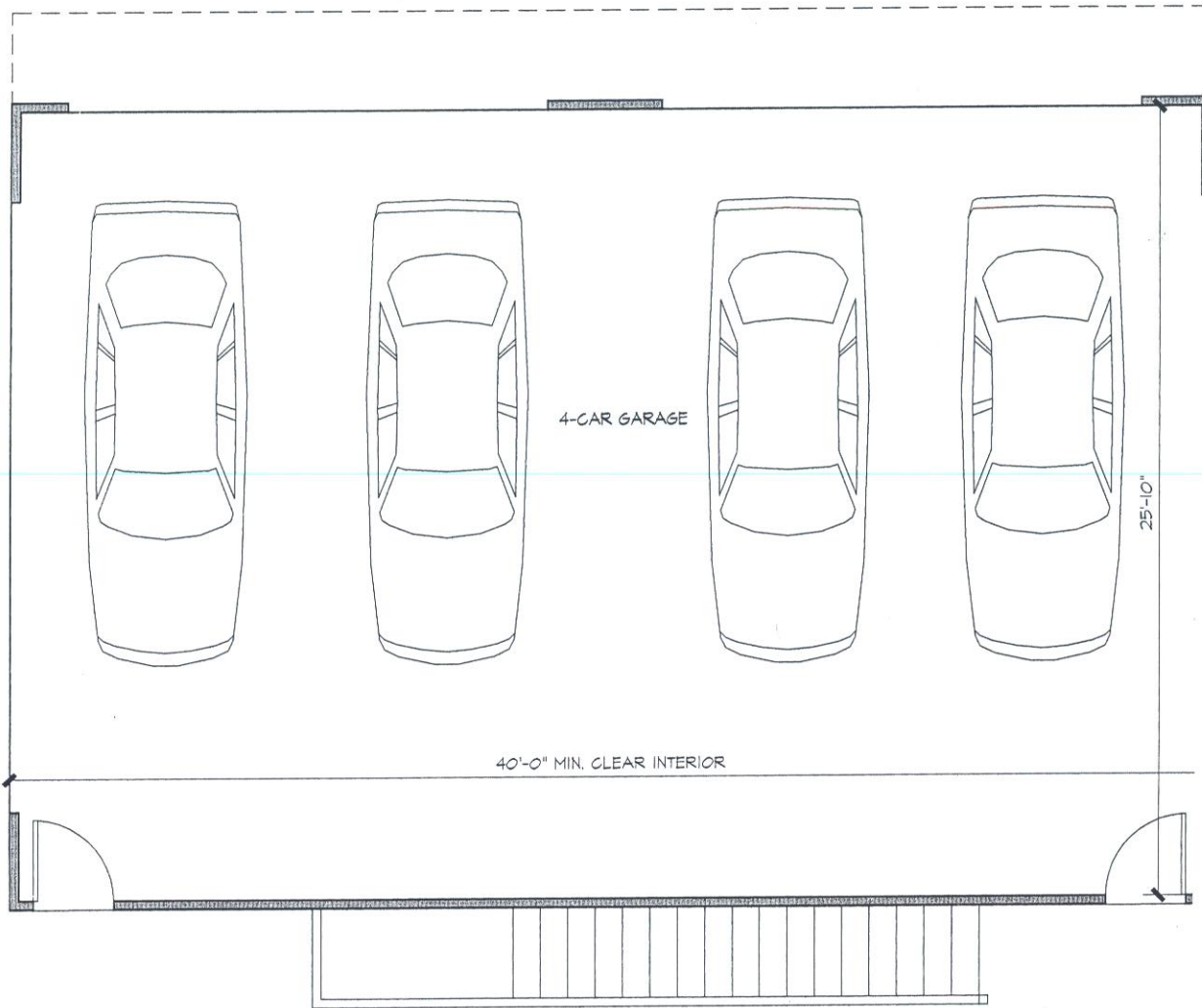
**(N)UNIT 'B' ABOVE 4-CAR GARAGE**

Exhibit 3b

1,191 sq.ft.

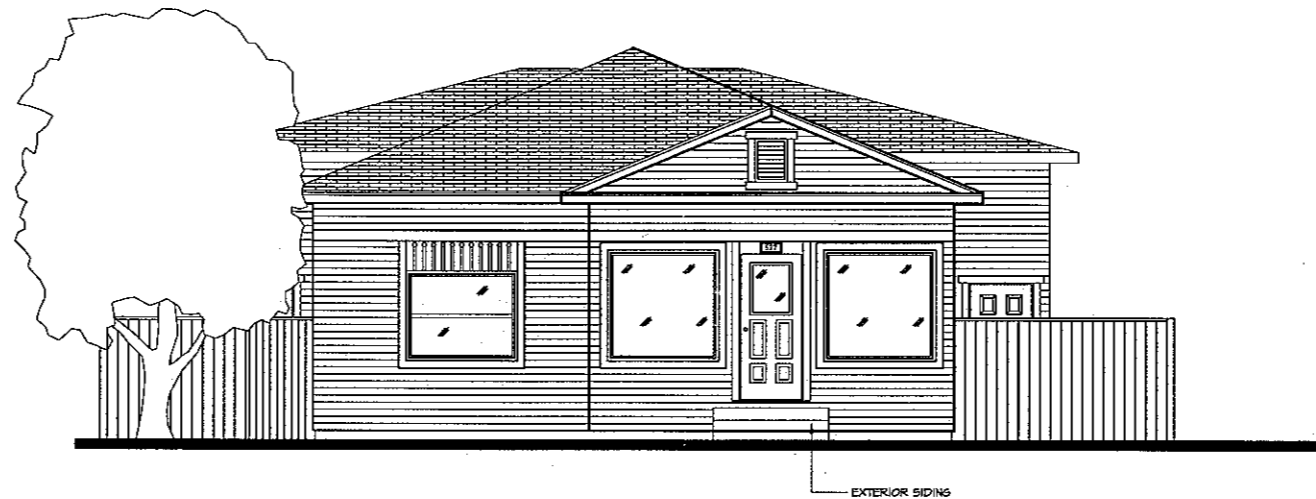
SCALE 1/4":1'-0"





**(N)GARAGE FLOOR PLAN**

SCALE 1/4"=1'-0"



**SOUTH ELEVATION VIEW (ACROSS FROM 5TH ST.)**

SCALE 1/4"=1'-0"

Exhibit 4a

REVISIONS:		
#	DESCRIPTION	DATE
▲		
▲		
▲		
▲		

**CONEJO CONSTRUCTION**  
**JOSE GARCIA**  
 1105 WALNUT DR.  
 OXNARD, CA 93036  
 805-766-5634 C

ALL IDEAS, DRAWINGS AND SPECIFICATIONS SHOWN HEREON ARE THE PROPERTY OF CONEJO CONSTRUCTION GROUP AND SHALL NOT BE USED, COPIED, REPRODUCED, OR DISCLOSED TO ANY PERSONS OR FIRM WITHOUT THE WRITTEN CONSENT OF CONEJO CONSTRUCTION GROUP. ANY INFRACTION WILL BE SUBJECT TO LEGAL ACTION. CONTRACTORS SHALL BE RESPONSIBLE TO VERIFY ALL CONDITIONS OF PROJECT SITE AND SHALL IMMEDIATELY NOTIFY CONEJO CONSTRUCTION OF ANY DEVIATIONS FROM CONDITIONS OR CONDITIONS SHOWN HEREON. DO NOT SCALE THE DRAWINGS, CONTACT CONEJO CONSTRUCTION GROUP IMMEDIATELY FOR CLARIFICATION OF ANY DISCREPANCY OR UNCLEAR CONDITIONS.

**NEW RESIDENCE FOR:**  
**JOSE GARCIA**  
 527 W. 5TH ST. / OXNARD, CA 93030  
 TEL. (805)805-766-5634 / A.P.N. 202-0-086-080  
**OWNER: JOSE GARCIA**  
 1105 WALNUT DR. / OXNARD, CA 93036  
 TEL. (805)766-5634

PROJECT NUMBER:

STAMP:

SHEET CONTENT:  
 (E)UNIT 'A' ELEVATIONS

DRAWN BY:  
 A. BARRAGAN

SCALE: AS SHOWN	NO.
DATE: 07/11/11	A-4



NEW ASPHALT ROOF SHINGLES  
OVER 15# FELT OVER 1/2" EXTERIOR  
GRADE PLYWOOD MIN. CLASS B  
ROOFING ICC# ER-1001



# NORTH ELEVATION

SCALE 1/4":1'-0"

NEW ASPHALT ROOF SHINGLES  
OVER 15# FELT OVER 1/2" EXTERIOR  
GRADE PLYWOOD MIN. CLASS B  
ROOFING ICC# ER-1001

12  
3



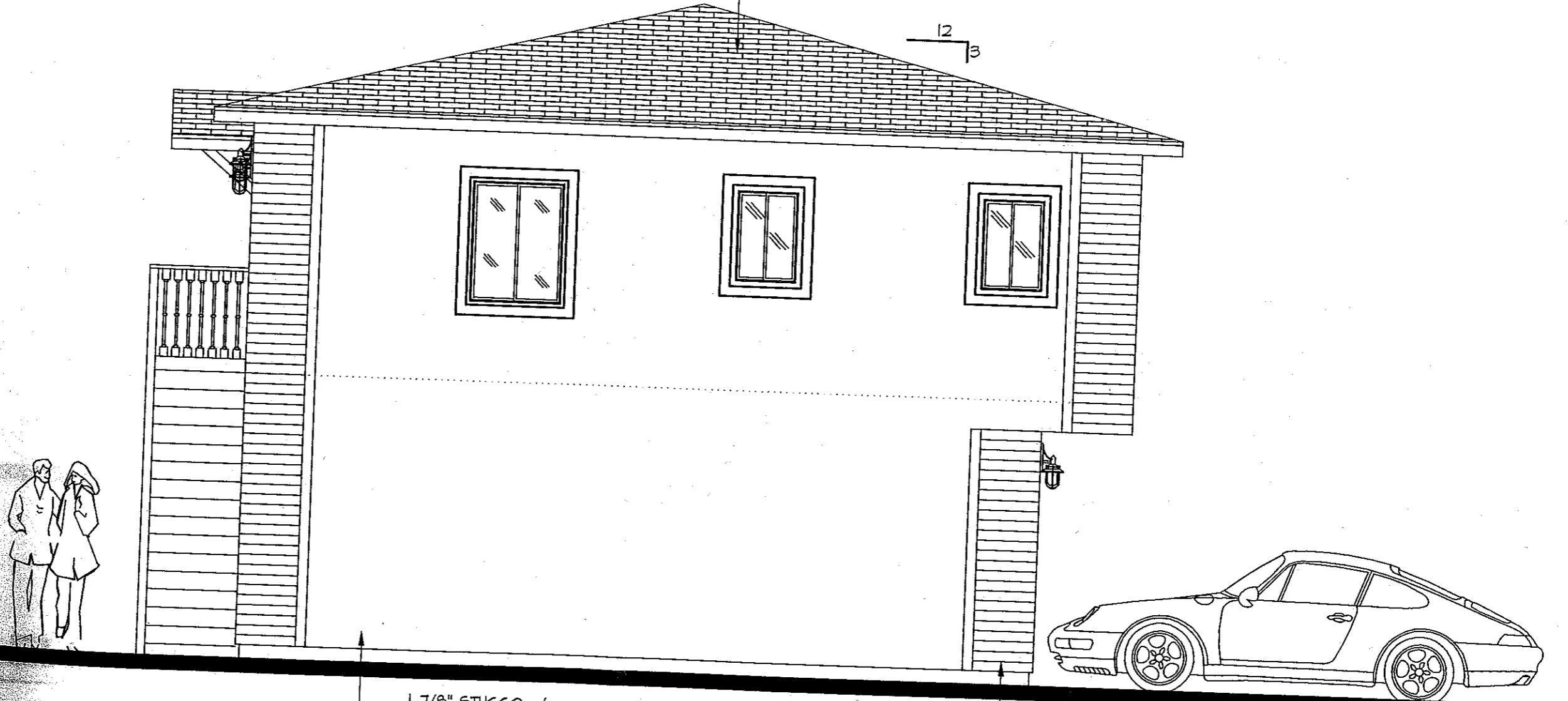
EXTERIOR SIDING

# SOUTH ELEVATION

SCALE 1/4":1'-0"

NEW ASPHALT ROOF SHINGLES  
OVER 15# FELT OVER 1/2" EXTERIOR  
GRADE PLYWOOD MIN. CLASS B  
ROOFING ICC# ER-1001

12  
3



**WEST  
ST ELEVATION**

1/8" STUCCO o/  
2-15# FELT  
(TYP. @ EXT.  
WALLS)

EXTERIOR SIDING

**SCALE 1/4":1'-0"**



NEW RESIDENCE FOR:  
**JOSE GARCIA**

527 W. 5TH ST / OYUNABO, CA 95066

PROJECT NUM:

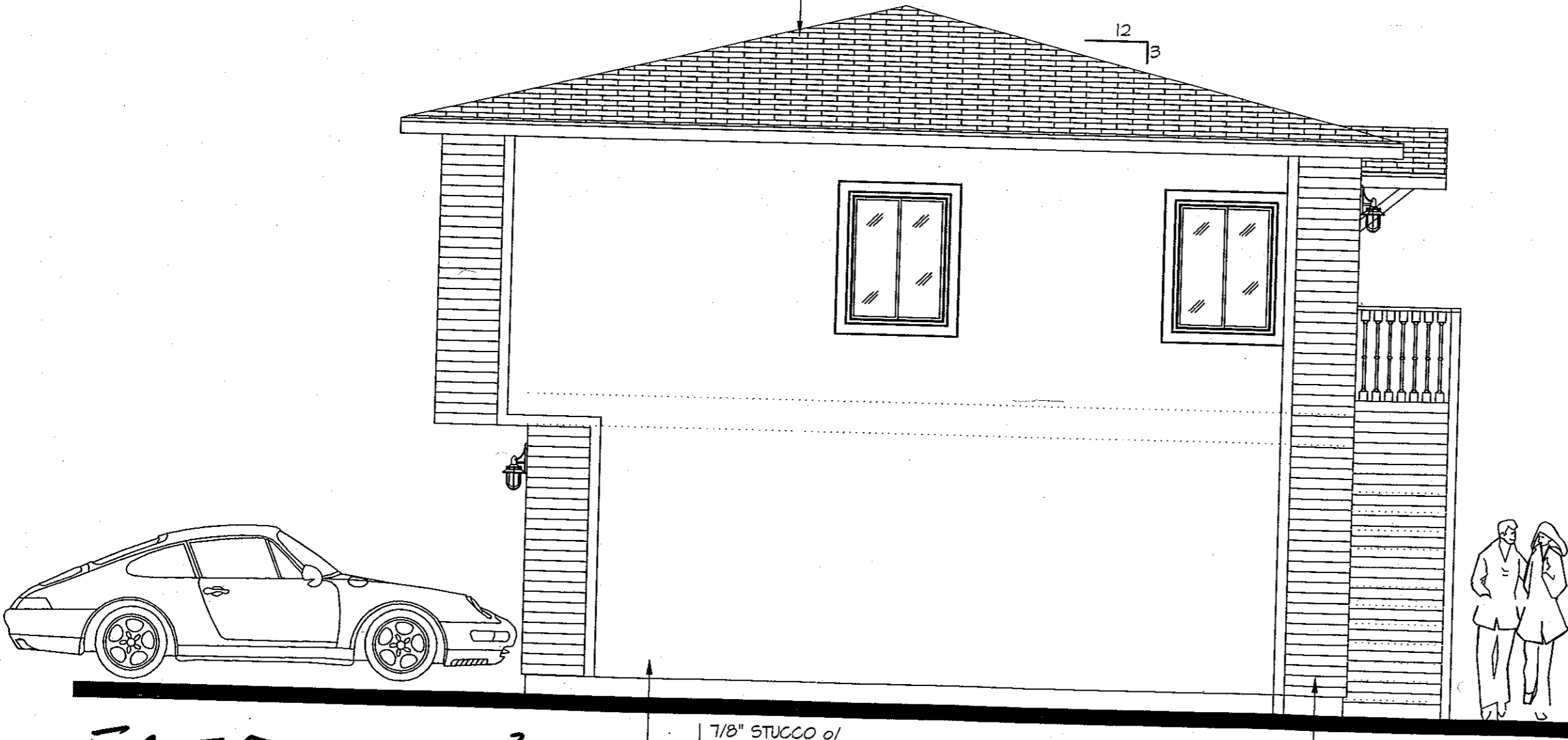
STAMP:

SHEET CONTENT

(N)UNIT 'B' EI

NEW ASPHALT ROOF SHINGLES  
OVER 15# FELT OVER 1/2" EXTERIOR  
GRADE PLYWOOD MIN. CLASS B  
ROOFING ICC# ER-1001

12  
3



**EAST ELEVATION**

7/8" STUCCO o/  
2-15# FELT  
(TYP. @ EXT.  
WALLS)

EXTERIOR SIDING

Exhibit 4e

**EAST ELEVATION**





Exhibit 5





09.07.2011 16:47





09:07.2011 16:49





09.07.2011 16:48





09.07.2011 16:48



**OXNARD CULTURAL HERITAGE BOARD  
STAFF REPORT AND RECOMMENDATIONS  
AGENDA OF SEPTEMBER 15, 2011  
ITEM NO. 4b**

**SUBJECT:**

Oxnard 1981 Survey Area, 226 W Magnolia Avenue, Request for a Certificate of Review for New Construction of Rear Addition to Existing Single Family Residence and Proposed Two Car Garage, Project No. 11-356

**APPLICANT:**

Alejo Barragan  
Barragan Designs  
435 Precy  
Oxnard, CA 93033

**PROPERTY OWNER:**

Raul B. Orozco  
312 Camarillo Drive  
Camarillo, CA 93010

**REQUEST:**

The applicant is requesting a Certificate of Review to construct a new rear addition to existing single family residence and a proposed two-car garage, and renovate the existing single family dwelling located at 226 West Magnolia Avenue in downtown Oxnard.

**LOCATION AND PARCEL NUMBER:**

226 W Magnolia Avenue, Oxnard, CA/APN: 202-0-053-030

**BACKGROUND:**

The subject property was surveyed in the Phase I, Oxnard Survey, 1981 and is rated 5D2, as a contributor to a district that is eligible for local listing or designation. This house is a single story Bungalow constructed ca. 1912-40 (Exhibit 2 - Photos). It contains the following features: clapboard siding, segmental pediment over front door; original windows with flat surrounds, double hung; medium hipped gables; concrete stoop, pseudo columns both sides; eaves projecting, rafters exposed. It appears to be unaltered but poorly maintained in recent years.

The majority of the houses were constructed in the twenties. (Survey, Magnolia Street) Five or six of the 56 houses on the blocks (from A Street to F Street) have been significantly altered with two-story rear additions, stucco finish, etc. that are visible from the street. Many of the homes have significant single story rear additions not visible from the street.

**PROJECT ANALYSIS**

Front Residence Renovation:

The applicant proposes to renovate the existing main dwelling by:

- Replace existing damaged siding with redwood siding to match;
- Replace all existing wood windows with vinyl single hung windows
- Install new red oak flooring in existing living room/ hallway;
- Install carpet in bedrooms;
- Install new composition roofing;
- Replace the contemporary back door with a new contemporary back door;
- Existing bathroom to be moved to new location and remove interior wall; and
- Maintain existing interior and front doors.

Proposed Rear Addition and Two Car Garage:

The applicant proposes to construct an addition of approximately 600 square feet to the existing residence and a 400 square foot two-car garage to be located in the rear of the subject property. The proposed addition will consist of three additional bedrooms (for a total of 5 bedrooms) and an additional bath in a contemporary style (Exhibits 3, 4 and 5 – Site, Floor and Elevation Plans). An existing one-car garage was located in the rear of the property as of December 2010 when staff previously visited the site; however, the garage has been demolished since that time. The lot is a standard sized lot of 50 feet wide by 140 feet long.

**The Significance of the New Construction and the Secretary of the Interior Standards and Guidelines Review**

The Cultural Heritage Ordinance (Sections 1364-12 and 1366-3) and the Board of Supervisors approved Certified Local Government Agreement requires that your Board use the Secretary of the Interior Standards for Rehabilitation to review projects. The Board's review must be based upon the Standards.

New Construction. The Illustrated Standards for Rehabilitating Historic Buildings recommend that "New construction and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired." (p. vii)

The Standards further indicate the following is not recommended:

*"Introducing new construction onto the building site which is visually incompatible in terms of size, scale, design, materials, color and texture; which destroys historic relationships on the site; or which damages or destroys important landscape features."*  
(p. 74)

*"It should be clear that new construction is not historic."*

**Staff Comment:**



Residence Renovation: The proposed renovation of the existing front residence would repair, protect, and maintain those architectural features located on the front of the existing residence that faces Fifth Street consistent with the Standards (Number 9). However, staff finds that the replacement of the existing residence's wood windows with vinyl single hung windows is inconsistent with the Standards (Number 5).

*"5. Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a property shall be preserved."*

Staff recommends the Board provide comment that the property owner should install double or single hung windows that match the appearance, size, design, proportion, material and profile of the existing historic windows.

Proposed Addition and Two Car Garage: The massing and height of the garage and addition appear to be acceptable given the site conditions and the distance from the rear addition and Magnolia Avenue. The new addition may be visible to a small degree when the home is viewed obliquely from the east and west.

Staff finds that the proposed vinyl single hung windows in the new addition are inconsistent with the Secretary of the Interior's Standards for Rehabilitation (Standards) Number 9. To preserve the integrity of the structure, the new windows should match the existing wood windows.

*"9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment."*

Staff recommends the Board provide comment that the property owner should install compatible and energy-efficient replacement windows that match the appearance, size, design, proportion, material, and profile of the existing historic windows.

### **Cultural Heritage Ordinance**

In taking the steps noted above your Board must also make the specific Ordinance finding which logically follows to approve or deny the project.

For **approval** the following finding must be made:

Section 1366-3(a) states: *"The proposed work will neither adversely affect the significant architectural features nor adversely affect the character of historical, architectural or aesthetic interest or value of the potentially eligible Cultural Heritage site."*

OR For **denial** one or both of the following findings must be made:



Section 1366-7(a) states: "*The proposed project is to remove or demolish a potentially eligible Cultural Heritage site that is determined by the Cultural Heritage Board to be significant and important to the history of the County.*"

## **PUBLIC COMMENTS**

No public comment regarding this application has been received

## **RECOMMENDATION ACTIONS:**

1. Conduct public hearing, hear testimony, and consider the staff report;
2. Make findings by motion as required by the Ordinance and based on the evidence presented, to provide comments to the owner, or provide other direction.

The owner must be given the opportunity to plead economic hardship as provided by Ordinance Section 1366-3(d). The Cultural Heritage Board's action will be final unless appealed to the City within 15 days of notification of the decision (Section 1366-7.c).

Prepared by:

  
\_\_\_\_\_  
Nicole Doner, Senior Planner  
805-654-5042

Attachments:

Exhibit 2 Photos  
Exhibit 3: Site Plan  
Exhibit 4: Floor Plan  
Exhibit 5: Elevations

cc: Sue Martin, City of Oxnard Planning Department  
Raul Orozco, 312 Camarillo Drive, Camarillo, CA 93010





Exhibit 2

09 07 2011 16:36

226 MAGNOLIA AVE

9/7/2011





12.08.2010 22:31

226 MAGNOLIA AVE



226 MAGNOLIA AVE

12.08.2010 22:29

Front Door







226 MAGNOLIA AVE

INTERIOR LOOKING TOWARD BATHROOM





12 08 20

- FRONT ROOM 12/8/2010





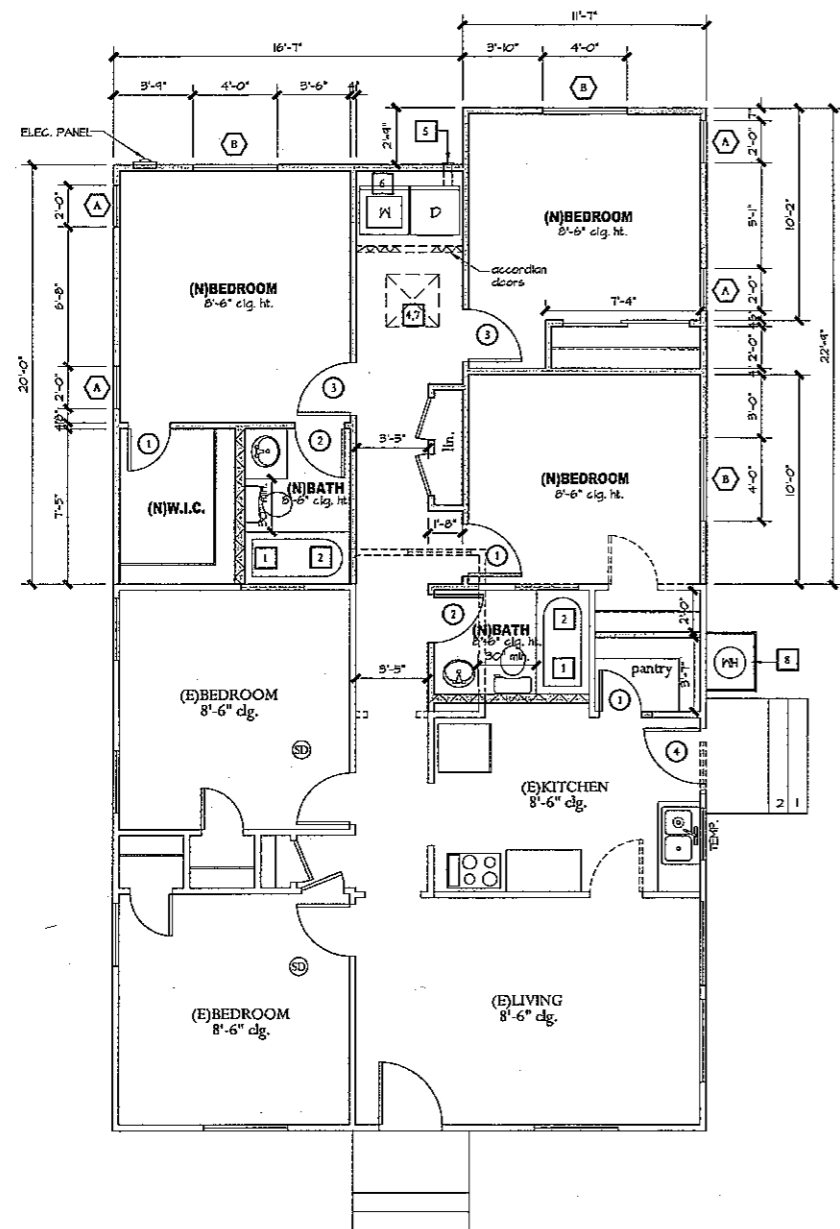
12 08 2010 22:31

776 MAGNOLIA AVE - EXISTING - UNIDUALS





**FLOOR PLAN**



SCALE 1/4"=1'-0"

**NOTE:**  
SEPERATE PERMITS WILL BE REQUIRED FOR PLUMBING,  
MECHANICAL, AND ELECTRICAL WORK (AS APPLICABLE)

**WALL LEGEND**

- EXISTING WALLS TO REMAIN
- - - - - EXISTING WALLS TO BE REMOVED
- ▬ NEW 2x4 STUDS @ 16" O.C. WALL UNLESS NOTED OTHERWISE.
- ▨ NEW 2x6 STUDS @ 16" O.C. WALL UNLESS NOTED OTHERWISE.

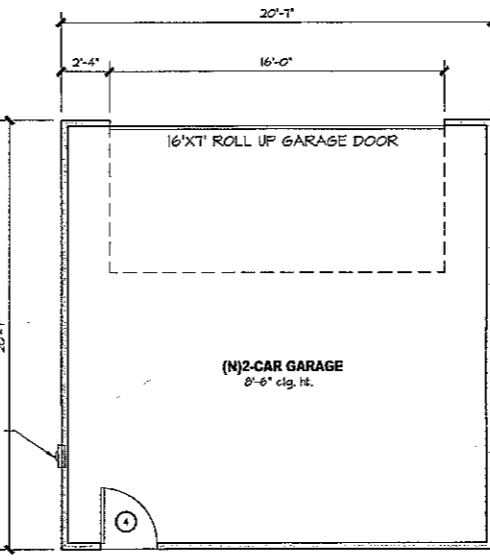
Note: All windows shall be dual-glazed unless noted

WINDOW SCHEDULE			
MARK	SIZE	DESCRIPTION	U-FACTOR
A	2040	SINGLE HUNG	
B	4040	SINGLE HUNG	

DOOR SCHEDULE			
MARK	SIZE	DESCRIPTION	REMARKS
1	2058	HOLLOW CORE	
2	2468	HOLLOW CORE	
3	2668	HOLLOW CORE	
4	2868	SOLID CORE	WITH GLASS/TOP

**MAIN FLOOR NOTES**

- A. ALL DIAGONAL WALLS TO BE 45 DEGREES UNLESS NOTED OTHERWISE.
  - B. WINDOW "HEAD" HEIGHTS:  
1ST FLOOR: WINDOW SCHEDULE OR EXT. ELEVATION.  
DOOR HEIGHTS AS NOTED ON PLANS  
(ALIGN ADJACENT WINDOW HEADER HEIGHT WITH DOOR HEADERS)
- PLAN KEY NOTES:**
- 1 SHOWERS AND TUBS/SHOWERS COMBINATIONS PROVIDE A SMOOTH, HARD, NON-ABSORBENT SURFACE OVER MOISTURE-RESISTANT GYPSUM BOARD HEIGHT OF 10" MINIMUM ABOVE DRAIN INLE. SHOWER HEAD 48" (TEMPERED GLASS ENCLOSURE)
  - 2 PROVIDE A PERMANENTLY ACCESSIBLE 12 INCH SQUARE BATH/TUB TRAP ACCESS OR A NON-SLIP JOINT TRAP
  - 3 (E)40 GALLON 40,000 BTUS WATER HEATER
  - 4 NEW 30" X 30" ATTIC ACCESS PANEL PER C.B.C. 1204.2. AN ATTIC ACCESS OPENING SHALL BE PROVIDED TO ATTICS OF BUILDINGS WITH COMBUSTIBLE CEILING OR ROOF CONSTRUCTION. PROVIDE AN ELECTRICAL OUTLET AND A SWITCHED LIGHT IN ATTIC, WITH SWITCH LOCATED AT THE ENTRANCE TO THE PASSAGEWAY. (exception: attics with a maximum vertical height of less than 30 inches (762mm), no access is required.
  - 5 4" DRYER VENT TO OUTSIDE. GAS DRYER PLUMBING PERMIT REQUIRED.
  - 6 3" MIN. DISCHARGE FOR WASHER
  - 7 (E)GAS ATTIC FURNACE, 75,000 BTUS. (Required Return and/or Outside Air Duct: 2 square inches per 1,000 Btu/h (CMC 406)
  - 8 (E)40 GALLON WATER HEATER 40,000 BTUS STRAP WATER HEATER AT UPPER AND LOWER 1/3 OF VERTICAL HEIGHT. WATER HEATER PRESSURE AND TEMP. RELIEF DRAIN LINE NEEDS TO TERMINATE TO OUTSIDE OF THE BUILDING. PAD SUPPORTING WATER HEATER SHALL BE A MINIMUM OF 3" ABOVE THE GRADE. (THE BOTTOM STRAP SHALL BE A MIN. OF 4" ABOVE THE GRADE. WITH APPROVED METAL ENCLOSURE.



**GARAGE FLOOR PLAN**

SCALE 1/4"=1'-0"

**SMOKE DETECTOR NOTE**

PROVIDE SMOKE DETECTOR IN EACH NEW AND EXISTING SLEEPING ROOM AND AT A POINT CENTRALLY LOCATED IN THE HALLWAY OR AREA GIVING ACCESS TO EACH NEW AND EXISTING SLEEPING AREA.

A SMOKE DETECTOR SHALL BE INSTALLED IN EACH STORY, PROXIMITY TO STAIRWAY.

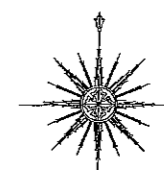
WHEN SLEEPING ROOMS ARE ON AN UPPER LEVEL, SMOKE DETECTOR SHALL BE PLACED AT THE CEILING OF THE UPPER LEVEL IN CLOSE PROXIMITY TO STAIRWAY.

IN DWELLING UNITS WHERE THE CEILING HEIGHT OF A ROOM OPEN TO THE HALLWAY SERVING THE BEDROOMS EXCEEDS THAT OF THE HALLWAY BY 24 INCHES OR MORE, SMOKE DETECTORS SHALL BE INSTALLED IN THE HALLWAY AND IN THE ADJOINING ROOM.

IN NEW CONSTRUCTION, THE REQUIRED SMOKE DETECTOR SHALL BE HARDWIRED TO THEIR PRIMARY POWER OF THE BUILDING WIRING AND SHALL BE EQUIPPED WITH A BATTERY BACKUP. SMOKE DETECTORS MAY BE SOLELY BATTERY OPERATED WHEN INSTALLED IN EXISTING

**EMERGENCY EGRESS NOTE**

PROVIDE EMERGENCY EXIT DOOR OR WINDOW FROM BASEMENT AND/OR SLEEPING ROOMS. NET CLEAR WINDOW OPENING AREA SHALL BE NOT LESS THAN 5.7 SQ. FT. (EXCEPT AT GRAD FLOOR OPENING SHALL MIN. 5.0 SQ. FT.). MIN. NET WINDOW OPENING HEIGHT DIMENSION, 24" CLEAR; MIN. NET OPENING WIDTH DIMENSION, 20" CLEAR. FINISHED SILL HEIGHT MAX. 44" ABOVE FLOOR. C.B.C. 1026.2, 1026.3 UPPER FLOOR ATTIC)



600 & addition

**REVISIONS:**

#	DESCRIPTION	DATE
1	BUILDING SAFETY	8/8/11

**Barragan**  
DRAFTING AND DESIGN  
415 PERCY STREET  
OXFORD, CA 95055  
TEL: (805) 736 8110  
E-MAIL: cbarragan@barragan.com

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**ADDITION FOR:**  
**OROZCO RESIDENCE**  
228 MAGNOLIA AVE. OXNARD, CA 93030  
TEL. (805) 207-4869 / A.P.N. 202-0-053-030  
OWNER: RAUL OROZCO  
228 W. MAGNOLIA AVE. / OXNARD, CA 93030  
TEL. (805) 207-4869

PROJECT NUMBER:

STAMP:

SHEET CONTENT:  
FLOOR PLAN

DRAWN BY:

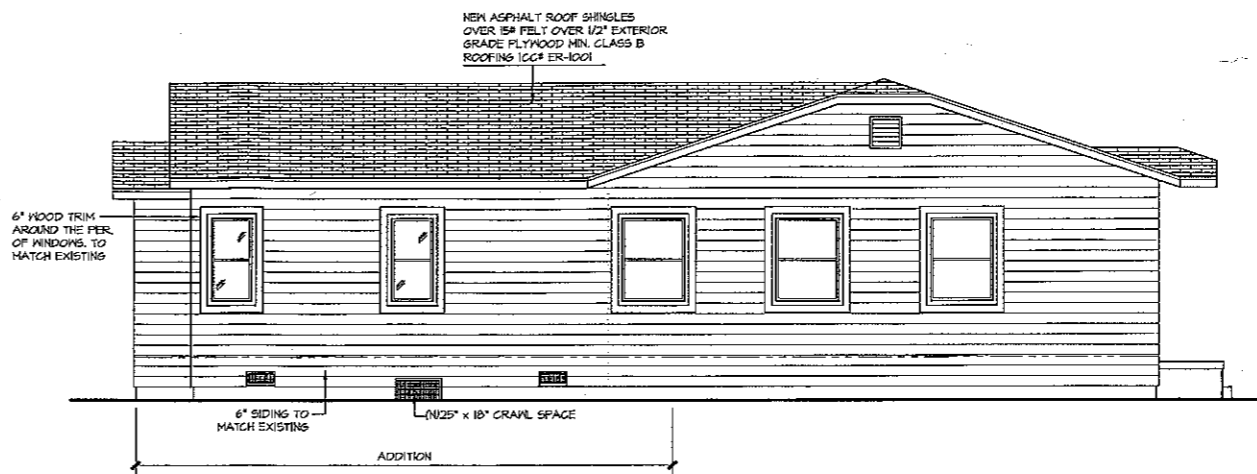
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DATE:





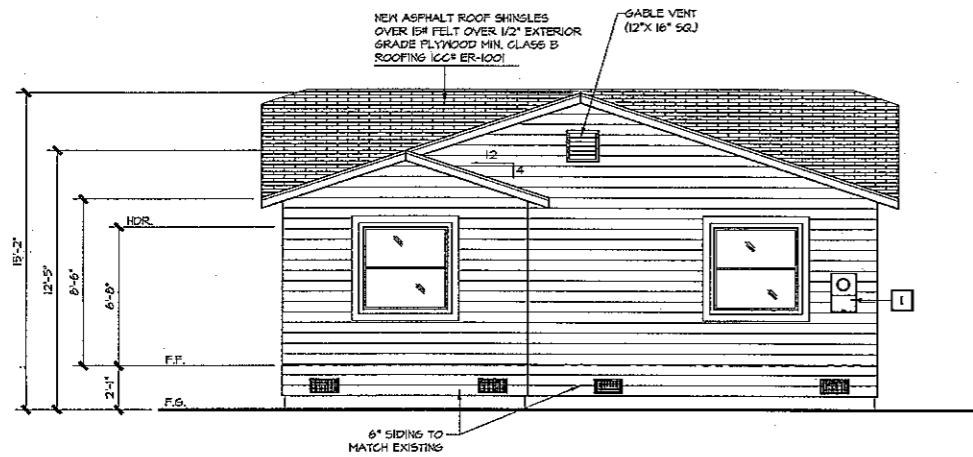
**FRONT ELEVATION**

SCALE 1/4"=1'-0"



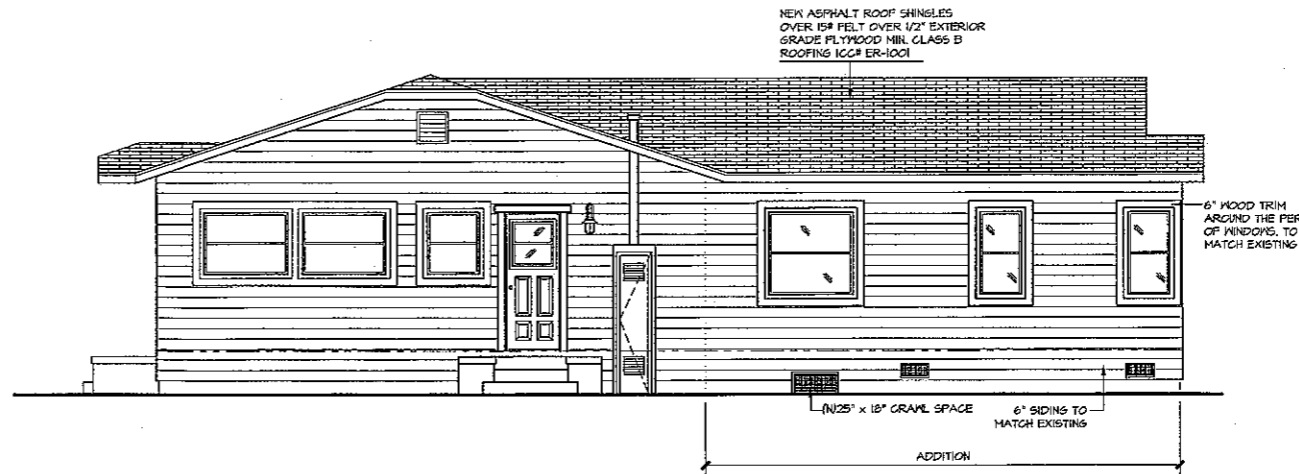
**LEFT ELEVATION**

SCALE 1/4"=1'-0"



**REAR ELEVATION**

SCALE 1/4"=1'-0"



**RIGHT ELEVATION**

SCALE 1/4"=1'-0"

**ELEVATION NOTES:**

- 1 (N) LOCATION FOR ELECTRICAL PANEL W/ OVERHEAD SERVICE. (100 AMP)

**ATTIC VENT NOTE:**

1. PROVIDE 30% OF EAVE ATTIC VENT EQUAL TO ONE SQUARE FOOT PER 150 S. F. OF ATTIC AREA AT LEAST 3 FT. ABOVE THE EAVE OR CORNICE VENT. THE BALANCE OF VENTILATION IS TO BE PROVIDED BY EAVE OR CORNICE VENTS.
2. ONE SQ. FT. PER 300 SQ. FT. OF ATTIC AREA WITH 1/2 OF THE VENT AREA NEAR THE RIDGE, AT LEAST THREE HIGHER, AND THE REMAINDER OF THE AREA AT EAVE OR CORNICE VENTS (COMBINE CLEAR OPENING OF 2.50 SQ. FT. MIN) OR
3. ONE SQ. FT. PER 300 SQ. FT. OF ATTIC AREA PROVIDED A VAPOR BARRIER NOT EXCEEDING 1 PERM IS INSTALLED ON THE WARM SIDE OF THE ATTIC INSULATION (COMBINE CLEAR OPENING OF 2.50 SQ. FT. MIN).
4. ATTIC VENTS ARE REQUIRED TO BE PROTECTED BY 1/4" CORROSION RESISTANT METAL MESH. (CBC SEC. 1203.2.1)

REVISIONS:		
#	DESCRIPTION	DATE
▲	BUILDINGS SAFETY	08/11
▲		
▲		
▲		

**Barragan**  
 DRAFTING AND DESIGN  
 415 PERCY STREET  
 OAKLAND, CA 94612  
 TEL: (925) 760-0110  
 E-MAIL: rbarragan@barragan.com

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ADDITION FOR:  
**OROZCO RESIDENCE**  
 226 MAGNOLIA AVE., OXNARD, CA 93030  
 TEL. (805) 207-4669 / A.P.N. 202-0-063-030  
 OWNER: RAUL OROZCO  
 226 W. MAGNOLIA AVE., OXNARD, CA 93030  
 TEL. (805) 207-4689

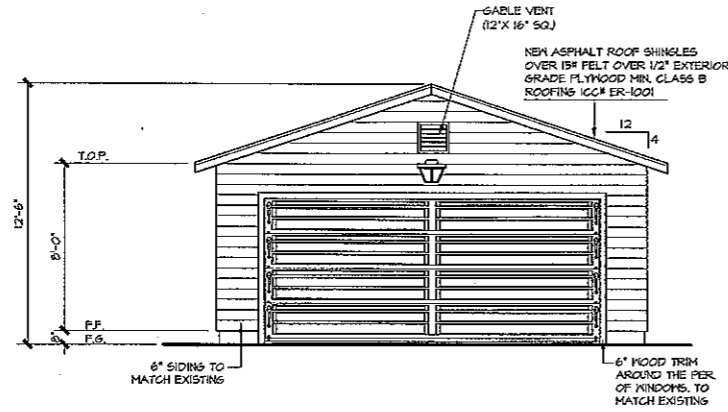
PROJECT NUMBER:

STAMP:

SHEET CONTENT:  
 FLOOR PLAN

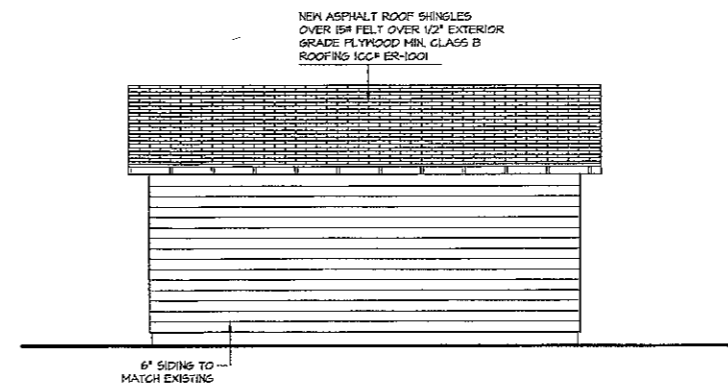
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 DATE: A-4



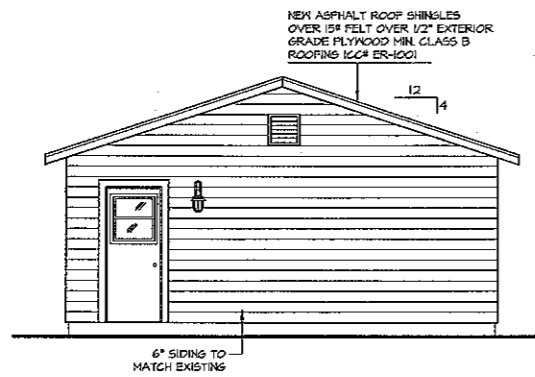
**FRONT ELEVATION**

SCALE 1/4":1'-0"



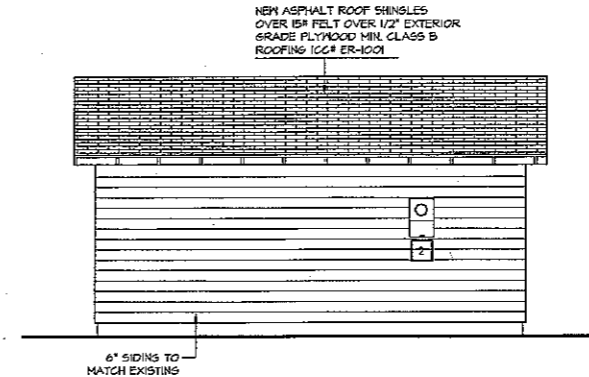
**LEFT ELEVATION**

SCALE 1/4":1'-0"



**REAR ELEVATION**

SCALE 1/4":1'-0"



**RIGHT ELEVATION**

SCALE 1/4":1'-0"

**ELEVATION NOTES:**

- 1 (N) LOCATION FOR ELECTRICAL PANEL W/ OVERHEAD SERVICE. (100 AMP)
- 2 (N) SUB-PANEL

1. PROVIDE 50% OF EAVE ATTIC VENT EQUAL TO ONE SQUARE FOOT PER 150 S.F. OF ATTIC AREA AT LEAST 3 FT. ABOVE THE EAVE OR CORNICE VENT. THE BALANCE OF VENTILATION IS TO BE PROVIDED BY EAVE OR CORNICE VENTS.
2. ONE SQ. FT. PER 300 SQ. FT. OF ATTIC AREA WITH 1/2 OF THE VENT AREA NEAR THE RIDGE, AT LEAST THREE HIGHER, AND THE REMAINDER OF THE AREA AT EAVE OR CORNICE VENTS (COMBINE CLEAR OPENING OF 2.50 SQ. FT. MIN) OR
3. ONE SQ. FT. PER 300 SQ. FT. OF ATTIC AREA PROVIDED A VAPOR BARRIER NOT EXCEEDING 1 PERM IS INSTALLED ON THE WARM SIDE OF THE ATTIC INSULATION (COMBINE CLEAR OPENING OF 2.50 SQ. FT. MIN).
4. ATTIC VENTS ARE REQUIRED TO BE PROTECTED BY 1/4" CORROSION RESISTANT METAL MESH. (CBC SEC. 1203.2.1)

#	DESCRIPTION	DATE
▲	BUILDING SAFETY	8/9/11
▲		
▲		
▲		

**Barragan**  
 DRAFTING AND DESIGN  
 435 PERRY STREET  
 OAKLAND, CA 94612  
 TEL: (925) 784-8110  
 E-MAIL: barragan@barragan.com

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**OROZCO RESIDENCE**  
 226 MAGNOLIA AVE. OXNARD, CA 93030  
 TEL: (805) 207-4669 / A.P.N. 202-0-053-030  
 OWNER: RAUL OROZCO  
 226 W. MAGNOLIA AVE., OXNARD, CA 93030  
 TEL: (805) 207-4669

PROJECT NUMBER:

STAMP:

SHEET CONTENT:  
 GARAGE ELEVATIONS

DRAWN BY:

SCALE: AS SHOWN NO. A-4.1  
 DATE: