



Ventura County Cultural Heritage Board Agenda

Monday, May 09, 2016 Public Meeting

Notice is hereby given that on Monday, May 09, 2016 at 1:15 p.m., the Ventura County Cultural Heritage Board will convene for a Public Meeting to be held at the Ventura County Government Center, Administration Building, Second Floor, Atlantic Conference Room, located at 800 S. Victoria Avenue, Ventura, CA. Members of the public are welcome to attend.

1. ROLL CALL

Patricia Havens, Ricki Mikkelsen, John Kulwicz, Don Shorts, Gary Blum, Stephen Schafer, Miguel Fernandez

2. ORAL COMMUNICATION

This time is set aside for public comment on items not otherwise on this agenda which are within the purview of the Cultural Heritage Board. Each speaker is allowed a maximum of five minutes. Board members may question the speaker but there will be no debate or decision. Staff may refer the matter for investigation and/or a future report.

3. APPROVAL OF MINUTES

None

4. CONVENE THE MEETING OF THE OXNARD CULTURAL HERITAGE BOARD

Landmark District 161 located at 444 South F Street, Oxnard, CA

Action: Consider the request for a Certificate of Appropriateness to construct a new single-car garage; install a new driveway and six-foot high wrought iron fencing and paneling; legalize the demolition and garage rebuild; relocate rebuilt garage, and partial demolition of a rear deck on the subject site.

5. Ventura Road at the Santa Clara River, south of Highway 101 - Irene Rauschenberger will present information regarding the Juan Bautista DeAnza Campsite 74 as a potential Point of Interest.

Action: None.

6. Review and Approve the Cultural Heritage Board Priorities List Update

7. DISCUSSION

- a. Board Member Reports –Update on the Oxnard Survey Area Window Replacements
- b. CHB Program Updates from Staff

8. MEETING ADJOURNMENT

In Compliance with the Americans with Disabilities Act, if you need special assistance to participate in this meeting, please contact Nicole Doner at 805-654-5042. Reasonable advance notification of the need for accommodation prior to the meeting (48 hours advance notice is preferable) will enable us to make reasonable arrangements to ensure accessibility to this meeting.

Oxnard Cultural Heritage Board

Staff Report and Recommendations

Agenda of May 09, 2016 – Item No. 4

County of Ventura • Resource Management Agency • Planning Division
800 S. Victoria Avenue, Ventura, CA 93009-1740 • (805) 654-2478 • ventura.org/rma/planning

REPRESENTATIVE

Saul Vigil of Vigil Design
P.O. Box 1281
Oxnard, CA 93032

APPLICANT/OWNER:

W. Phillip and Laina Graf
21605 North Victoria Avenue
Oxnard, CA 93030

REQUEST:

On behalf of the Owner, the applicant requests approval of a Certificate of Appropriateness (COA) for the following alterations: a) after-the-fact demolition and rebuild of the 280 square feet (s.f.) original detached single-car garage; b) relocation of said rebuilt garage; c) after-the-fact re-siding of an existing guest house; d) proposed construction of a new detached single-car garage of 252 s.f.; e) new driveway from alley using Grasscrete paving system; f) installation of a six-foot high ornate wrought iron railing at the front of house and a wrought iron railing and solid iron paneled gates at the alleyway; and g) partial demolition of a rear deck. Case No. COA#15-683-02

LOCATION:

444 South F Street, in Oxnard, CA.
APN: 202-0-075-090

BACKGROUND:

Historical Background

The subject property is located at 444 South F Street in Oxnard, CA, in the Henry T. Oxnard Historic District (Landmark No. 161). F Street features wide tree-lined streets, raised lawn, low walls, and alleys with rear parking. The homes on F Street maintain substantial setbacks from the front property line and are typically well landscaped with many mature sycamore street trees. The houses documented in this neighborhood have been inhabited by both upper class and working class families over time. The majority of the homes on F Street maintain their original style, constructed between 1910 and 1930, with very few alterations.¹ Based on the National Register of Historic Places (NRHP) registration forms used to approve the NRHP listing of the Oxnard Henry T. Oxnard Historic District, the District's period of significance is 1909 to 1941.

¹ Information obtained from the Ventura County, Oxnard Survey- Phase I, F Street (March 1981).

The subject property is a one and a half-story residence originally built for Caspar and Mary Wucherpfennig in the California bungalow style sometime between 1912 and 1916. The existing 3 bedroom, 1 bath, 1,676 s.f. house has a medium-sloping, front-gabled roof and a shingled dormer originally with two small 4-lite windows. The front porch is fully enclosed with large arched glass windows on either side of the French 15-lite doors. The porch is supported by a low brick wall and brick columns topped with two wood pilasters on either side of the centered entry and steps. The home's exterior is clapboard siding on the lower half of the house and shingles on the upper half and the front dormer. There is a brick chimney on the north elevation.

The home's interior includes wooden floors and moldings, wainscoting, as well as many built-ins such as cabinets, shelving and dining and bedroom bench seating, which are considered part of the property's distinguishing characteristics.

The original detached single-car garage was single wall construction of 280 s.f. with vertical board and batten siding, a front-gabled roof and carriage style doors. The existing guest house is a modest vernacular building that also originally utilized vertical board and batten siding. Both the guest house and the existing garage were considered contributing buildings before their current modifications, as they were built during the District's period of significance. The accessory buildings are located in the rear of the property, adjacent to the alleyway. The lot is 50 feet wide by 219 feet long.

A. Photos of the Subject Property



Photo No. 1 -1980 Ventura Co. Cultural Heritage Survey, Oxnard
Phase I – main house



Photo No. 2 – 2015 main house front view



Photo No. 3 - 2016 main house front view



Photo No. 4 taken from front yard in 2016 of wrought iron fence and gate at west elevation



Photo 5 taken from back yard in 2014 of garage and guest house



Photo No. 6 taken from rear yard in 2016 of rebuilt garage and re-sided guest house in the rear.



Photo No. 7 taken from alleyway in 2016 of re-sided guest house and garage.

I. PROJECT DESCRIPTION AND CHO ANALYSIS:

A. Project Description

The project is analyzed pursuant to County Cultural Heritage Ordinance 4225 (CHO), Section 1366 for the relocation, renovation and new construction using the following project description (as described above):

- a. After-the-fact demolition and rebuild of the 280 s.f. original detached garage;
- b. Relocation of the rebuilt and re-sided 289 square foot (s.f.) detached single-car garage (using HardiePlank 6-inch horizontal lap siding);
- c. After-the-fact re-siding of an existing guest house using HardiePlank 6-inch horizontal lap siding without permit;
- d. Proposed construction of a detached single-car garage of 252 s.f. using HardiePlank 6-inch horizontal lap siding;
- e. New driveway from alley using Grasscrete paving system;
- f. Six-foot high ornate wrought iron railing at the front of the house and wrought iron railing and solid iron paneled gates proposed along the alleyway; and
- g. Proposed partial demolition of an existing rear deck to allow for the relocation of the electric meter.

Not subject to a Certificate of Appropriateness but a part of the project request:

- Legalization of the main house's non-permitted interior alterations and structural reinforcement (interior changes only);
- Proposed attic conversion of main house to create two new bedrooms and a bath (interior changes only);

The detached garage and guest house were originally clad in vertical board and batten siding. In 2015, the original garage was torn down, rebuilt and re-sided without a permit using horizontal fiber cement siding. The guest house's interior was rehabilitated and the exterior was re-sided without permit using the same horizontal siding as the garage.

The situation is further complicated by the fact that when the original garage was demolished and rebuilt in place, the garage lost its non-conforming status. Thus, the property owner is required to relocate the rebuilt garage toward the interior of the property to meet the 20-foot minimum setback requirements and in order to provide access to another single-car detached garage to meet the minimum two-car covered parking requirement. The proposed construction of the new garage and relocation of the rebuilt garage would be located approximately 30 feet from the rear property line accessed by a driveway connected to the alleyway. The owner proposes to use a Grasscrete paving system for the driveway hardscape.

The legalization of the main house's non-permitted interior alterations will necessitate the removal of a bearing wall, structural reinforcement, and legalization of the non-permitted interior stairway. Interior alterations that do not affect the exterior design of the building are not under the Board's scope of review but are included in the report for informational purposes.

B. Project impact on the historic resource, pursuant to CHO.

In evaluating requests for Certificates of Appropriateness, the Cultural Heritage Board and staff shall consider the existing architectural style, design, arrangement, texture, materials, and any other factors with regard to the site's original distinguishing characteristics . . . [and] shall approve a Certificate of Appropriateness, for any proposed work site if, and only if, one of the following findings [in Cultural Heritage Ordinance Section 1366-3(a) through (e)] can be made" (CHO § 1366-3) To this end, there are several well-established and applicable criteria or guidance for determining whether a particular treatment, development or building project will have a significant adverse impact on an historic resource.

1. Significance of the New Construction and Review of *The Secretary of the Interior's Standards for Rehabilitation & Illustrated Guidelines for Rehabilitating Historic Buildings*, ("the Standards")

As required by the Cultural Heritage Ordinance, the Standards have been used to review this project and the Board's review must be based on consistency of the project with them. The Secretary of the Interior's Standards are applicable to buildings that have been identified as contributors to their respective districts, landmarks, or Sites of Merit structures that contain character-defining features. Standards Nos. 1, 2, 3, 5, 6, and 9 apply to this case in particular. Next to each Standard is a corresponding RMA Planning staff comment.

- Standards No. 1: *A property shall be used for its historic purpose or be used for a purpose that requires minimal change to the defining characteristics of the building and its site and environment;*

Standards 1 Discussion: The use of the property as a single family residence and guest house is not expected to change. Thus, this Standard has been met.

- Standards No. 2: *The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided;*

Standards 2 Discussion: The Standards recommend that the spaces and the setting that characterize a property be maintained. The elements of setting include the relationship of the buildings to each other, setbacks, patterns, views, driveways and walkways, and street trees together that create the character of a district or neighborhood.

Rebuilt Garage: Because the original garage was essentially demolished and rebuilt in place, the rebuilt garage has lost its non-conforming status and must be relocated to allow access to an additional garage to meet City Zoning Code requirements. The proposed garage and relocated garage will be setback a distance of thirty feet from the alleyway. Existing garages in the District are generally between two and ten feet

from the rear property line. The relocation of the garages would alter the spaces between the detached accessory buildings to the alleyway. This Standard has not been met.

- Standards No. 5: *Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved;*
and,
- Standards 6: *Deteriorated architectural features shall be repaired rather than replaced wherever feasible. In the event replacement is necessary, the new material should match the material being replaced in composition, design, texture and other visual qualities. Repair or replacement of missing architectural features should be based on accurate duplications of features, substantiated by historic, physical or pictorial evidence rather than on conjectural designs or the availability of different architectural elements from other structures or objects.*

Standards 5 and 6 Discussion: The Standards discourage removal of existing historic building elements except when the elements are too deteriorated to save. When such features are deteriorated, the Standards encourage the replacement with new features that should match as close to the originals as possible in composition, design, color, profile, texture and other visual qualities. It should be noted that the Standards don't require that every element of a historic site remain intact. The most significant, or "character-defining", historic elements of a property should be retained.

Demolished Garage: Because the original detached garage was demolished and rebuilt using all new materials, the rebuilt garage no longer has historical integrity and should not be considered a contributing building to the District. However, the detached garage was a small accessory structure (280 s.f.) located at the rear of the property (a non-primary location), thus, the loss of this structure has minimal impact upon the historic integrity of the property and the District, in staff's opinion.

New and Rebuilt Garages: The way in which a new garage relates to other historic buildings of a property is important in historic districts. Staff recommends that the Board consider a condition of approval be placed on the COA to require that the new and rebuilt garages approximate the original configuration, form, massing, style, and detail of the former garage. With adherence to the proposed condition of approval, these Standards would be met.

Driveway and hardscape: The installation of a new driveway where one didn't exist using a modern paver system (Grasscrete) at the rear of the property, will not be visible from the front of the property, and will therefore not change the appearance or historic character of the property at the primary elevation.

Guest House: Except for the current siding modification, the guest house has retained its integrity and is considered a contributing building to the District. In staff's opinion, the re-siding of the guest house using HardiePlank siding is not consistent with the Standards because the siding does not match the original board and batten siding in design, texture, profile, and other visual qualities. Staff recommends that the Board consider placing a condition on the COA to require the replacement of the HardiePlank siding with a board and batten style siding that is the traditional siding style of accessory structures. With adherence to the proposed condition of approval, these Standards would be met

Front Fencing: Wood, wrought iron, and wrought iron looking fences and masonry walls are appropriate materials for the District. Inappropriate fencing materials for the front yard include chain-link and vinyl fencing. The existing chain-link fencing along the front of the property (at the sidewalk) was installed prior to the establishment of the Henry T. Oxnard District.

The recently installed ornate style wrought iron fencing along the front of the house without Board approval appears inconsistent with the simple bungalow style of the residence. The Board may wish to place a condition on the COA to require the removal of the chain-link fencing along the front of the property in order to authorize the existing ornate wrought iron fencing in its current location. With adherence to the proposed condition of approval, these Standards would be met.

Rear Fencing: In the past, the installation of six-foot high wrought iron railing and solid iron paneled gates along the alleyway has been approved by the Board in other locations (e.g., at 115 S. G Street) in the District. The Board approved the G Street wrought iron railing because it was proposed in a non-primary location (alleyway). Thus, the wrought iron railing and solid iron paneled gates at the alleyway appear to meet the Standards.

Partial demolition of an existing rear deck: The deck is not considered a character defining feature of the house and may be partially removed to allow for the relocation of the electric meter.

- Standards No. 3: *Each property will be recognized as a physical record of its time, place and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties will not be undertaken.*

Standards 3 Discussion: The proposed alterations do not add conjectural features or elements from other historic properties.

- Standards No. 9 - *New additions, exterior alterations, or related new use compatible materials and construction techniques, will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment;*
and,
- Standards No. 10 - *New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.*

Standards 9 and 10 Discussion: The intent of Standard 9 is to ensure that new additions are recognized as products of their own time, but also respect the character-defining features of the resource. The height, scale and massing of adjacent buildings should dictate the height, scale and massing of new construction in the Historic District. New construction should have uniform setbacks and similar roof profiles as the older buildings.

The intent of Standard 10 is to allow the historic resource to retain its integrity so that should the new construction be removed, the resource could still convey its historic appearance.

Rebuilt Garage and New Garage: The rebuilt garage and the proposed construction of the new garage appear to be compatible with the height, scale and massing of the adjacent accessory buildings in the District. With the current siding, these new buildings would be differentiated from the old with the use of non-historic materials. In addition, the rebuilt and new garages could be removed in the future, leaving the historic property's integrity intact. Thus, these Standards have been met

2. Public Resources Code § 21084 and CEQA Guidelines § 15331:

Public Resources Code Sec. 21084 prohibits the use of an exemption for any project that may cause a substantial adverse change in the significance of an historical resource as defined in Sec. 21084.1. CEQA statutory and regulatory provisions help guide the CHB in determining whether a project, treatment or other development activity may cause a significant adverse change in the significance of an historical resource.

CEQA provides an exemption for projects that are determined to follow the Secretary of the Interior's Standards. This project is found to be exempt from environmental review under the provisions of CEQA Section 15331 (Historical Resource Restoration/Rehabilitation) because it is limited to maintenance, repair, stabilization, rehabilitation, restoration, preservation, conservation or reconstruction of historical resources in a manner consistent with the Secretary of the Interior's Standards for the

Treatment of Historic Properties with Guidelines for Preserving, Rehabilitating, Restoring, and Reconstructing Historic Buildings.

3. Opportunity to Show Hardship

At the CHB public hearing on this matter, if desired, the property owner must be given the opportunity to present facts and evidence demonstrating that a failure to grant the requested Certificate of Appropriateness will cause an economic hardship as provided by CHO Section 1366-3(d).

4. Planning Staff Conclusions Regarding Project Impacts to Historic Resources on This Site

The criteria for approval of a Certificate of Appropriateness contained in CHO Section 1366-3 is that the proposed work and new construction will neither adversely affect the significant architectural features nor adversely affect the character of the historical, architectural or aesthetic interest or value of the site. Staff's recommendation is for approval of the COA request with imposition of the recommended conditions of approval. The CHB may disagree with staff's recommendation and consider the project to have an adverse effect on the Henry T. Oxnard Historic District, Landmark No. 161. If so, the effect may be reduced or eliminated by pursuing an alternate course of action. This can be accomplished through redesign of the project to eliminate objectionable or potentially damaging aspects of the project.

With the recommended conditions of approval placed on the project to protect and preserve the historic integrity of the site and the District, staff believes the garage modifications (demolition, reconstruction, re-siding and relocation) and new garage would neither adversely affect the significant architectural features nor adversely affect the character of the historical, architectural or aesthetic interest or value of the site and District.

PROPOSED CULTURAL HERITAGE ORDINANCE FINDINGS FOR APPROVAL

After consideration of the proposed project, staff report and accompanying exhibits, and all public testimony, the Cultural Heritage Board may approve or deny the issuance of a Certificate of Appropriateness.

The requested COA may be approved on the basis of either one of the following findings:

- 1) *"The proposed work will neither adversely affect the significant architectural features nor adversely affect the character of historical, architectural or aesthetic interest or value of the Cultural Heritage site."* (CHO § 1366-3(a))

OR

- 2) *"In the case of construction of a new improvement, addition, building or structure upon the site, the use and exterior of such construction will not adversely affect, and will be compatible with the use and, or exterior of the site."* (CHO §1366-3(b))

PUBLIC COMMENTS

No public comment regarding this request has been received to date.

RECOMMENDED ACTIONS:

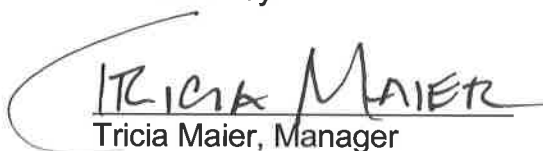
1. CONDUCT the public hearing, RECEIVE oral and written testimony, and CONSIDER the County Planning staff report and all exhibits and attachments on this project; and
2. FIND that the proposed project at Landmark No. 161 meets the requirements of the City of Oxnard Cultural Heritage Ordinance and the Secretary of Interior's Standards based on the substantial evidence presented in the staff report and the entire record; and
3. Based on the preceding evidence and analysis, APPROVE a Certificate of Appropriateness subject to the conditions of approval for the proposed project at Landmark No. 161.

Prepared by:



Nicole Doner, Case Planner
805-654-5042

Reviewed by:



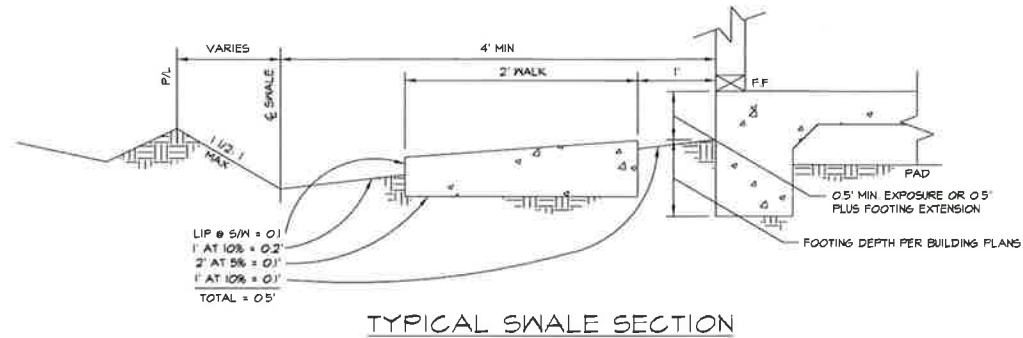
Tricia Maier, Manager
Planning Programs Section
805-654-2464

Attachments:

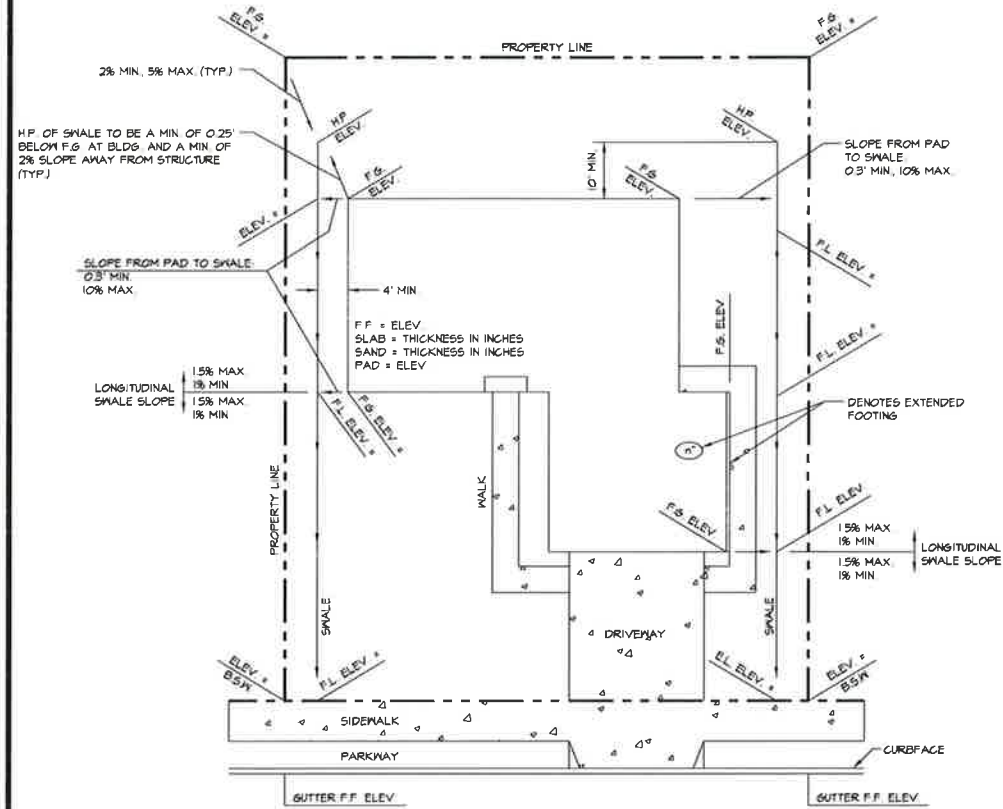
- Exhibit 1: Site Plan, Floor Plans, and Elevations
- Exhibit 2: Certificate of Appropriateness application
- Exhibit 3: Photos of Site

C: Juan Martinez, Associate Planner, City of Oxnard, Planning Division, 214 S. C Street, Oxnard, CA 93030
Ashley Golden, Development Services Director, City of Oxnard, Planning Division, 214 S. C Street, Oxnard, CA 93030

THE GRAF-MORRIS RESIDENCE MAIN HOUSE



TYPICAL SWALE SECTION



STANDARD RESIDENTIAL LOT DRAINAGE/PLATE 601

NOTES

1. THE (n) DENOTES AN EXTENDED FOOTING WHERE 'n' EQUALS THE EXTENDED FOOTING DEPTH.
2. DEVIATION FROM THIS CRITERIA WILL REQUIRE PRIOR APPROVAL OF THE CITY OF VENTURA.
3. CALL OUT ALL ELEVATIONS AS SHOWN.
4. THIS PLATE PRIMARILY APPLIES TO SINGLE FAMILY RESIDENTIAL DEVELOPMENT. FINISH FLOOR ELEV SHALL BE 25" ABOVE THE LOWEST ADJACENT STREET GUTTER OR BE PROTECTED FROM A 100 YEAR STORM, WHICHEVER IS GREATER.
5. SIDEWALK DRAINS SHALL NOT BE USED IN RESIDENTIAL CONSTRUCTION.

LEGEND

- BSM = BACK OF WALK
- FL = FLOW LINE
- F.G. = FINISH GRADE
- HP = HIGH POINT

GRADING

1. FINISH GRADE FOR RESIDENTIAL ADDITIONS SHALL BE ACCOMPLISHED ACCORDING TO PUBLIC WORKS STANDARD PLATE 601. THERE SHALL BE NO UNDRAINED AREAS AND ALL WATER RUNOFFS SHALL DRAIN TO THE STREET AND ALLEY.
2. FINISH FLOOR SHALL BE CONSTRUCTED AS TO HAVE AT LEAST TWENTY-FIVE (25) INCHES (2'0") ABOVE THE ELEVATION OF THE LOWEST ADJACENT STREET GUTTER OR PROVIDE ENGINEERING SHOWINGS CALCULATIONS, TO BE APPROVED BY THE CITY ENGINEER, SHOWING THAT THE FINISH FLOOR WILL BE PROTECTED FROM A 100 YEAR STORM.
3. IF THE PROPERTY DRAINS TO BOTH A STREET AND AN ALLEY, THE DRAINAGE SWALE HIGH POINTS CAN BE LOCATED AROUND THE MIDDLE OF THE LOT IN THE SIDE YARD.
4. FINISH GRADE AROUND HOUSE SHALL SLOPE AWAY FROM FOUNDATION A MIN. OF 4 FEET AT 1/4 INCH PER FOOT FOR SOIL AND EARTH AND A MIN. OF 1/8 INCH PER FOOT FOR CONCRETE AND ASPHALT.

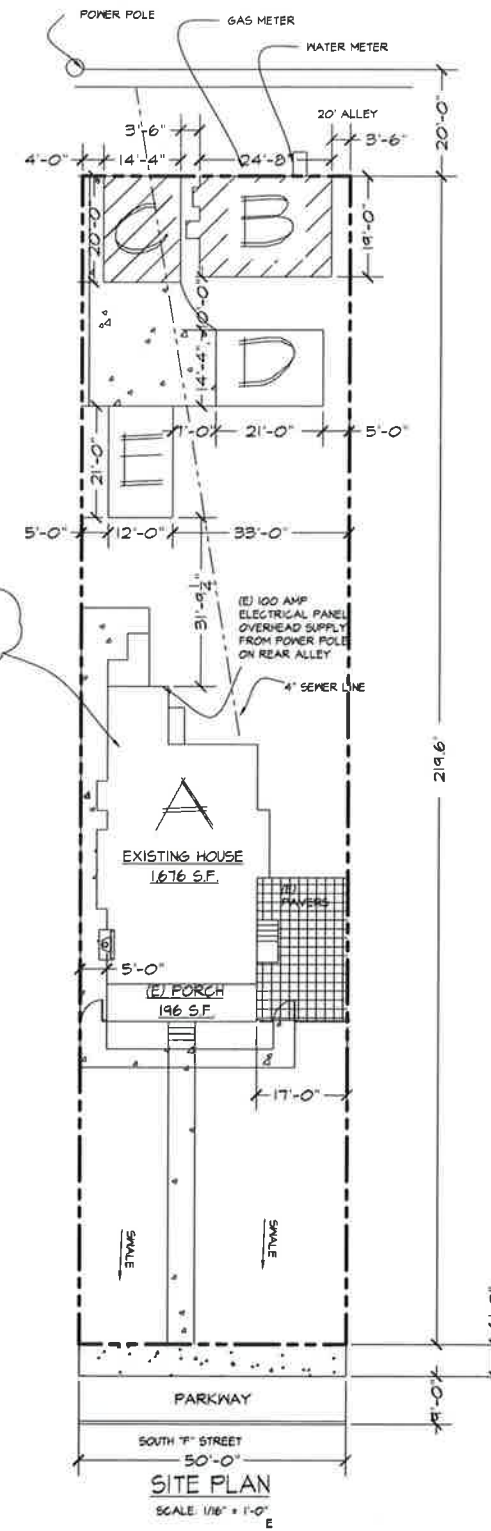
1. PROVIDE ADEQUATE CLEARANCE OF ELECTRICAL SERVICE DROP CONNECTORS (USE COPPER WIRING ONLY) (N.E.C. ARTICLE 230 - 24 & ARTICLE 680-B).
2. ELECTRICAL PANEL NOTE: APPROVAL BY SOUTHERN CALIFORNIA EDISON CO. IS REQUIRED FOR LOCATION OF ELECTRICAL SERVICE / PANEL PRIOR TO BUILDING INSPECTION. PLEASE CALL 854-1444.

PLUMBING

1. NO BUILDING SEWER OR OTHER DRAINAGE PIPING OR PART THERE OF CONSTRUCTED OF MATERIALS OTHER THAN THOSE APPROVED FOR USE UNDER OR WITHIN A BUILDING, SHALL BE INSTALLED UNDER OR WITHIN TWO (2) FEET OF ANY BUILDING OR STRUCTURE, OR LESS THAN ONE FOOT BELOW THE SURFACE OF THE GROUND (UPC, SEC. B13.4).
2. NO PIPING SHALL BE DIRECTLY EMBEDDED IN CONCRETE OR MASONRY WALL OR FOOTINGS (UPC, SEC. B13).
3. TIE TO EXISTING BUILDING SEWER, MAINTAIN A 1/4 INCH PER FOOT FALL.
4. A 4" SEWER LATERAL IS REQUIRED FOR RESIDENCES THAT HAVE 4 OR MORE WATERCLOSETS. EXPOSE FOR VERIFICATION OF EXISTING OR NEW LATERAL SIZE.

UNDER SEPARATE PERMITS

1. OBTAIN CERTIFICATE OF APPROPRIATENESS FROM CULTURAL HERITAGE BOARD PRIOR TO ISSUANCE OF PERMITS.



SITE PLAN

SCALE: 1/8" = 1'-0"

CODE REQUIREMENTS

ALL DESIGN CONSTRUCTION AND WORKMANSHIP SHALL CONFORM TO: 2013 EDITION OF THE CALIFORNIA BUILDING CODE (CBC), AMERICAN SOCIETY OF CIVIL ENGINEERS (ASCE) 7-10, 2013 CALIFORNIA MECHANICAL CODE (CMC), 2013 CALIFORNIA PLUMBING CODE, CALIFORNIA ELECTRICAL CODE 2013 AND ALL LOCAL ORDINANCES AND REQUIREMENTS.

GENERAL NOTES

ADDITIONS OR ALTERATIONS SHALL NOT BE MADE TO AN EXISTING BUILDING OR STRUCTURE THAT WILL CAUSE THE EXISTING BUILDING OR STRUCTURE TO BE IN VIOLATION OF ANY PROVISIONS OF THE CBC CODE AND SUCH ADDITIONS OR ALTERATIONS SHALL NOT CAUSE THE EXISTING BUILDING OR STRUCTURE TO BECOME UNSAFE.

THE TOP OF ANY EXTERIOR FOUNDATION OR FINISHED FLOOR SLAB SHALL EXTEND 25" ABOVE THE ELEVATION OF THE LOWEST ADJACENT STREET GUTTER.

FINISHED GRADING FOR RESIDENTIAL ADDITIONS SHALL BE ACCOMPLISHED ACCORDING TO PUBLIC WORKS STANDARD PLATE 601. THERE SHALL BE NO UNDRAINED AREAS AND ALL WATER RUNOFF SHALL DRAIN TO THE STREET AND/OR ALLEY.

SITE DATA

SITE AREA	10,980 S.F.
UNDER SEPARATE PERMIT	
A (E) MAIN HOUSE (FRONT)	1,676 S.F.
(N) SECOND FLOOR ADDITION	499 S.F.
(E) MAIN HOUSE DECKS / STAIRS	128 S.F.
(E) ENTRY PORCH	196 S.F.
B (E) GUEST HOUSE (REAR)	482 S.F.
C (E) GARAGE TO BE RELOCATED	284 S.F.
D (N) LOCATION OF RELOCATED GARAGE	301 S.F.
E (N) 12' x 21' GARAGE	252 S.F.
(N) DRIVEWAY	714 S.F.
(E) TOTAL LOT COVERAGE	2,721 S.F. = 25%
(E) TOTAL LANDSCAPE	8,254 S.F. = 75%
NEW TOTAL LOT COVERAGE	8,754 S.F. = 84%
NEW TOTAL LANDSCAPE	1,226 S.F. = 66%

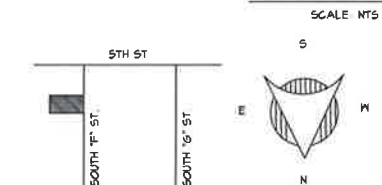
BUILDING CODE DATA LEGEND

OCCUPANCY GROUP	R-1
DESCRIPTION OF USE	RESIDENCE
TYPE OF CONSTRUCTION	V-B
SPRINKLERS	NO
STORIES	1
HEIGHT (MAX.)	12'-8"
FLOOR AREA (N) RELOCATED GARAGE	593 S.F.

SCOPE OF WORK

- OBTAIN PERMIT FROM CULTURAL HERITAGE BOARD
- (N) SIDING ON REAR HOUSE
- DEMOLISH (E) NON-PERMITTED GARAGE/BARN.
- ADD (N) 252 S.F. DETACHED ONE CAR GARAGE.
- RECONSTRUCT DEMOLISHED GARAGE
- FIRE SPRINKLERS UNDER SEPARATE PERMIT.

VICINITY MAP



SHEET INDEX

SHEET NO.	DESCRIPTION
A1	SITE PLAN, VICINITY MAP, SITE DATA, SCOPE OF WORK, SHEET INDEX
A4	(E) FLOOR PLAN (FIRST FLOOR)
A5	PROPOSED SECOND FLOOR PLAN
A6	ELEVATIONS
S	SHEETS SECTIONS
ENGINEERING SHEETS, GENERAL NOTES AND DETAILS	
G1	GREEN NOTES
G2	GREEN NOTES
TITLE 24 SHEETS	



Vigil Design
a.k.a. V.I.G.
P.O. BOX 1281 OXNARD, CA 93032 / Lic. # 191224 (805) 479-4974

OWNER
GRAF, A. PHILLIP, LAINA MORRIS
444 S. "F" STREET, OXNARD, CA. 93030
805 816-1042 / APN. 202-0-075-090

Sheet Content
GENERAL NOTES
SITE PLAN
SITE DATA
SCOPE OF WORK
VICINITY MAP
SHEET INDEX
PLATE 601
Date: 10-18-15
Drawn: SAUL VIGIL
Sheet: **A1**



Revisions

Vigil Design
a.k.a. V.I.G.
P.O. BOX 1281 OXNARD, CA 93052 / Lic. # 74224 (805) 479-4974

OWNER
GRAF, W. PHILLIP, LAINA MORRIS
444 S. "F" STREET, OXNARD, CA. 93030
805 816-1042 / APN. 202-0-075-090

Sheet Content

(E) FLOOR PLAN
WINDOW SCHEDULE
DOOR SCHEDULE
ELECTRICAL LEGEND
GENERAL NOTES
(N) GARAGE P. PLAN

Date: 0-18-13
Drawn: SAÚL VIGIL
Sheet: **A2**

FLOOR PLAN NOTES

- A SHOWERS SHALL BE TYPE NOT ADVERSELY AFFECTED BY MOISTURE. SHOWERS SHALL BE FINISHED TO A HEIGHT OF 10 INCHES ABOVE THE DRAIN INLET. NON-ABSORBENT WALL ADJACENT TO SHOWER AND APPROVED SHATTER-RESISTANT MATERIALS FOR SHOWER ENCLOSURE.
- B
- C
- D PROVIDE ULTRA FLUSH WATER CLOSETS FOR ALL CONSTRUCTION. EXISTING SHOWER HEADS AND TOILETS MUST BE ADAPTED FOR LOW WATER CONSUMPTION.
- E REMOVE EXISTING WINDOW AND IN-FILL.
- F REMOVE EXISTING DOOR AND INSTALL NEW WINDOW.
- G FLUORESCENT LIGHT OR LED.
- H
- I
- J (E) 15 AMP ELECTRICAL SUBPANEL SUPPLY FROM MAIN PANEL AT FRONT HOUSE.
- K BATH ROOM VENTILATION:
(A) 1/20 OF THE FLOOR AREA (1-1/2 SQUARE FEET MINIMUM)
(B) 5 AIR CHANGES PER HOUR MIN.
(C) FROM ANY INTAKE) 50 CFM MIN.
- L PROVIDE A 22" X 30" ATTIC SCUTTLE, LOCATED IN HALLWAY, OR OTHER READILY ACCESSIBLE LOCATION (CBC SEC. 1305.1).
ACCESS MAY BE FROM THE EXISTING ATTIC TO THE NEW ATTIC. INCLUDE A NOTE ON THE FLOOR PLAN OR ROOF FRAMING PLAN IF THIS IS TO OCCUR.
SCUTTLE MAY NOT BE LOCATED INSIDE A CLOSET, EXCEPT A WALK-IN CLOSET.
- M (E) 30 GAL. WATER HEATER TO BE REMOVED FROM PRESENT LOCATION AND TO BE REPLACED WITH (N) TANKLESS WATER HEATER.
- N REQUIRED RANGE HOOD & VENT INSTALLED PER MANUFACTURER'S INSTRUCTIONS 100 CFM MIN.
- O (E) ORIGINAL 14K BTU WALL UNIT.
- P
- Q
- R NOTE: ALL EXTERIOR LIGHTS TO BE MANUAL MOTION SENSOR & PHOTO CONTROL OR FLUORESCENT.
- S
- T 3'-0" X 3'-0" LANDING MIN.
- U
- V ULTRA LOW-FLOW PLUMBING FIXTURES:
(A) FAUCETS/SHOWERHEADS, 2.0 GAL. PER MINUTE MAX. FLOW RATE.
(B) TOILETS, 1.28 GALLONS PER FLUSH MAXIMUM.
- W
- X
- Y
- Z

NEW COPPER PIPES TO BE NON-LEAD

WALL LEGEND

- EXISTING WALLS TO REMAIN
- EXISTING WALLS TO BE REMOVED
NEW 2 X 4 STUDS @ 16" O.C. WALL UNLESS NOTED OTHERWISE.
- PROVIDE 2X6 STUDS IN PLUMBING WALLS TO PREVENT EXCESSIVE NOTCHING OR BORING OF STUDS (SECTION 2520.11.9, 2520.11.10 USC)

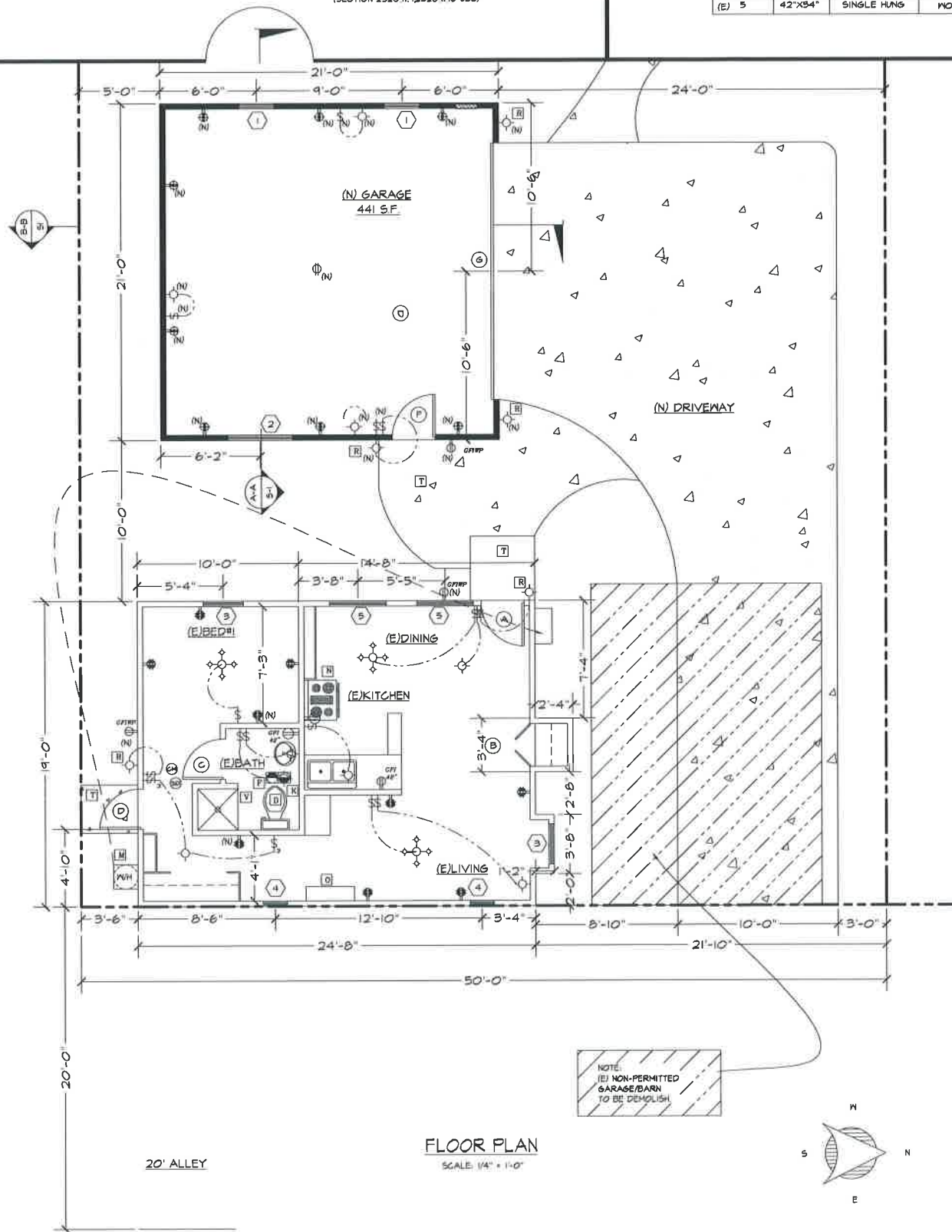
WINDOW SCHEDULE

Note: All windows shall REMAIN UNLESS NOTED

MARK	SIZE	DESCRIPTION	REMARKS	SIZE OF HEADER	U-FACTOR	SHGC
(E) 1	26"X20"	FIX	TEMPERED	SEE FRAMING PLAN		
(E) 2	48"X16"	AMNINS	WOOD			
(E) 3	30"X54"	SINGLE HUNG	WOOD			
(E) 4	18"X32"	HOPPER	WOOD			
(E) 5	42"X34"	SINGLE HUNG	WOOD			

DOOR SCHEDULE

MARK	SIZE	DESCRIPTION	REMARKS	SIZE OF HEADER
(E) 1	EXISTING			
A	286B	SOLID WOOD	GLASS PANELS	SEE FRAMING PLAN
B	286B	SOLID WOOD	PAINTED	
C	286B	SOLID WOOD		
D	286B	SOLID WOOD IV TEMPERED WINDOW		
TO BE REPLACE				
F	286B	SOLID WOOD		
G	16'X1'	CARRIAGE DOORS LOOK		



FLOOR PLAN
SCALE 1/4" = 1'-0"

NOTE: REPLACEMENT OF EXISTING PLUMBING FIXTURES IN PRE-1994 DWELLINGS WHEN A PERMIT IS OBTAINED FOR CONSTRUCTION. WATER USAGE FOR EXISTING PLUMBING FIXTURES (CALIF. CIVIL CODE SEC. 101.1-101.8) *AS A CONDITION FOR FINAL INSPECTION, EXISTING TOILETS OF GREATER THAN 1.6 GAL./FLUSH, SHOWER HEAD WITH FLOW CAPACITY OF MORE THAN 2.5 GAL./MIN, AND INTERIOR FAUCETS WITH FLOW CAPACITY OF MORE THAN 2.2 GAL./MIN. WILL NEED TO BE REPLACED TO AT LEAST THE MINIMUM STANDARD INDICATED.

NOTE: BATHROOM LIGHTING REQUIRES A MINIMUM OF ONE HIGH EFFICACY LIGHT. ALL OTHER LIGHTING INSTALLED IN A BATHROOM SHALL BE HIGH EFFICACY OR CONTROLLED BY A VACANCY SENSOR. ENERGY CODE 150.0 (K) 5 PS 10

- NOTE: ALL EXTERIOR LIGHTS TO BE MANUAL MOTION SENSOR & PHOTO CONTROL OR FLUORESCENT PIN BASED SOCKET OR LED.
- ELECTRICAL LEGEND - SYMBOLS**
- RECEPTACLES
 - TAMPER RESISTANT UNDER 5'-6" ABOVE FLOOR
 - CEILING RECEPTACLE
 - 120V GFI PROTECTED
 - ARG-FAULT CIRCUIT INTERRUPTER SECT. 210.12 (A) CAL. ELEC. CODE LOCATIONS
 - MOTION SENSOR SWITCH
 - PHOTO CONTROL SWITCH
 - SINGLE POLE SWITCH
 - 3-WAY SWITCH
 - CEILING MOUNT LIGHT OUTLET
 - CEILING MOUNT LIGHT OUTLET FLUORESCENT
 - HALL MOUNT LIGHT OUTLET
 - RECESSED LIGHT
 - RECESSED FLUORESCENT LIGHT
 - CARBON MONOXIDE DETECTOR
 - SMOKE DETECTOR 120V PROVIDE MIN. 36" FROM HVAC SUPPLY REGISTER
 - FLUORESCENT LIGHT
 - BATH ROOM VENTILATION:
(A) 1/20 OF THE FLOOR AREA (1-1/2 SQUARE FEET MINIMUM)
(B) 5 AIR CHANGES PER HOUR MIN.
(C) FROM ANY INTAKE)
- NOTE: PROVIDE ARG-FAULT CIRCUIT INTERRUPTER IN ALL DWELLING ROOMS.

NOTES

- K BATH ROOM VENTILATION:
(A) 1/20 OF THE FLOOR AREA (1-1/2 SQUARE FEET MINIMUM)
(B) 5 AIR CHANGES PER HOUR MIN.
(C) FROM ANY INTAKE) 50 CFM MIN.
- FOR THE PURPOSE OF HUMIDITY CONTROL, BATHROOMS CONTAINING A BATHUB, SHOWER OR TUB/SHOWER COMBINATION SHALL BE MECHANICALLY VENTILATED AT A RATE OF 20 CFM FOR CONTINUOUS VENTILATION; OTHERWISE A RATE OF 50 CFM SHALL BE USED FOR INTERMITTENT VENTILATION. AN OPERABLE WINDOW IS NOT A PERMISSIBLE METHOD EXHAUST AIR SHALL BE DUCTED TO TERMINATE OUTSIDE THE BUILDING. (CBC 9308.31, 686C 4306.1)
- EXHAUST FANS PROVIDED FOR HUMIDITY SHALL MEET THE FOLLOWING:
(1) ENERGY STAR COMPLIANT, AND
(2) CONTROLLED BY A HUMIDITY CONTROL UNLESS FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM HUMIDITY CONTROL SHALL OPERATE AS FOLLOWS (686C4 306.1):
(A) HUMIDITY CONTROLS SHALL BE CAPABLE OF ADJUSTMENT BETWEEN A RELATIVE HUMIDITY RANGE OF A GREATER THAN OR EQUAL TO 30% TO A MAXIMUM OF 80%. THE HUMIDITY CONTROL MAY UTILIZE MANUAL OR AUTOMATIC MEANS OF ADJUSTMENT AND,
(B) A HUMIDITY CONTROL MAY BE A SEPARATE COMPONENT TO THE EXHAUST FAN AND IS NOT REQUIRED TO BE INTEGRAL.
- THE PLUMBING FIXTURES AND PLUMBING FITTINGS SHALL MEET THE STANDARDS NOTED BELOW (686C 4 303):
(H) WATER CLOSET = 1.28 GALLONS PER FLUSH MAX
(I) URINALS = 0.5 GALLONS PER FLUSH MAX
(J) SHOWERHEADS = 2.0 GPM MAX
(K) KITCHEN FAUCETS = 1.0 GPM MAX
(L) LAVATORY FAUCETS = 1.5 GPM MAX
- HABITABLE OR NON-HABITABLE USE OF ATTIC SPACE SHALL BE DESIGNED IN COMPLIANCE WITH "R-3" OCCUPANCY REQUIREMENTS PER CRC TABLE R301.5 REVISE PLANS

NOTE: FLUORESCENT LAMPS TO BE INSTALLED FOR THE INTENT OF MEETING THE REQUIREMENTS OF TITLE 24 MUST BE PIN-BASED OR 6U-24 BASE. FLUORESCENT LAMPS WITH A STANDARD SCREW SHELL CANNOT BE USED TO MEET THIS REQUIREMENT. ENERGY CODE TABLE 150.0-A Pg. 124

LIGHTING DESIGN GUIDE

	2013 STANDARDS
KITCHEN	HIGH EFFICACY OR UP TO 50% OF THE TOTAL WATTAGE CAN BE LOW EFFICACY.
BATHROOM	ALL HIGH-EFFICACY AND LOW-EFFICACY LIGHTING MUST BE CONTROLLED SEPARATELY. SWITCH LOCATION REQUIREMENT REMOVED.
GARAGE	HIGH EFFICACY OR MANUAL-ON OCCUPANCY SENSOR
LAUNDRY ROOM	HIGH EFFICACY OR MANUAL-ON OCCUPANCY SENSOR
UTILITY ROOM	HIGH EFFICACY OR MANUAL-ON OCCUPANCY SENSOR
ALL OTHER INTERIOR ROOMS (E.G. LIVING ROOM, DINING ROOM, BEDROOMS, HALLWAYS) EXCEPT CLOSETS LESS THAN 50 SQ. FT.	HIGH EFFICACY OR MANUAL-ON OCCUPANCY SENSOR OR DIMMER
OUTDOOR LIGHTING ATTACHED TO BUILDINGS	HIGH EFFICACY OR CONTROLLED BY MOTION SENSOR + PHOTOCONTROL
COMMON AREAS OF LOW-RISE RESIDENTIAL BUILDINGS WITH 4 OR MORE DWELLING UNITS. RESIDENTIAL PARKING LOTS AND GARAGE FOR 6 OR MORE VEHICLES.	HIGH EFFICACY OR OCCUPANCY SENSOR MUST MEET NONRESIDENTIAL LIGHTING STANDARDS

GENERAL NOTES

WALL FRAMING:
EXTERIOR WALLS - SHALL BE 2 X 4 @ 16" O.C. (UNO.)
INTERIOR NON-BEARING WALLS:
2 X 4 @ 16" O.C. (2 X 6 @ PLUMBING WALLS) (UNO.)

EMERGENCY EXIT NOTE

PROVIDE EMERGENCY EXIT DOOR OR WINDOW FROM SLEEPING ROOMS. NET OPENING AREA SHALL NOT BE LESS THAN 5.7 SQ. FT. (21 SQ. IN.) NET WINDOW OPENING HEIGHT SHALL BE 24" CLEAR. NET OPENING WIDTH SHALL BE 20" CLEAR. FINISHED SILL HEIGHT ABOVE FLOOR SHALL BE 44" MAX HEIGHT ABOVE THE FLOOR. (C.B.C. 2013)

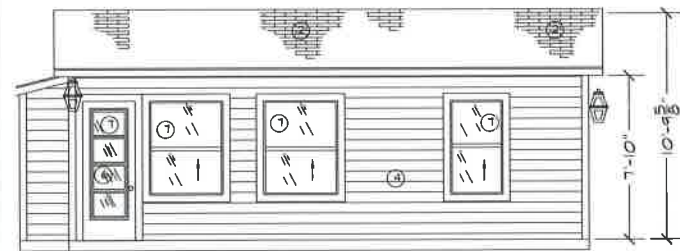
SMOKE DETECTOR NOTE

"SMOKE ALARMS AND CARBON MONOXIDE ALARMS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING AND SHALL BE INTERCONNECTED SO THAT WHEN ONE ALARM IS ACTIVATED ALL ALARMS WILL ACTIVATE" (CBC R314RB15)
PROVIDE SMOKE DETECTOR IN EACH NEW AND EXISTING SLEEPING ROOM AND AT A POINT CENTRALLY LOCATED IN THE HALLWAY OR AREA GIVING ACCESS TO EACH NEW AND EXISTING SLEEPING AREA.
A SMOKE DETECTOR SHALL BE INSTALLED IN EACH STORY.

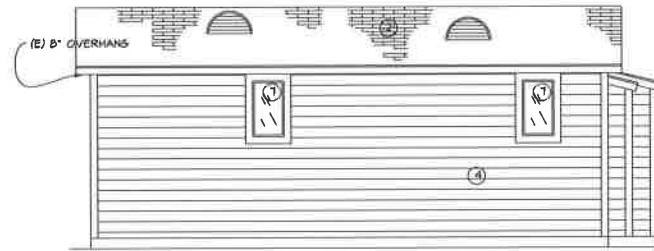
WHEN SLEEPING ROOMS ARE ON AN UPPER LEVEL, SMOKE DETECTOR SHALL BE PLACED AT THE CEILING OF THE UPPER LEVEL IN CLOSE PROXIMITY TO STAIRWAY.
IN DWELLING UNITS WHERE THE CEILING HEIGHT OF A ROOM OPEN TO THE HALLWAY SERVING THE BEDROOMS EXCEEDS THAT OF THE HALLWAY BY 24 INCHES OR MORE, SMOKE DETECTORS SHALL BE INSTALLED IN THE HALLWAY AND IN THE ADJOINING ROOM.

R314 POWER SOURCE
SMOKE ALARMS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING PROVIDED THAT SUCH WIRING IS SERVED FROM A COMMERCIAL SOURCE AND SHALL BE EQUIPPED WITH A BATTERY BACKUP. SMOKE ALARMS WITH INTEGRAL STROBES THAT ARE NOT EQUIPPED WITH BATTERY BACKUP SHALL BE CONNECTED TO AN EMERGENCY ELECTRICAL SYSTEM. SMOKE ALARMS SHALL EMIT A SIGNAL WHEN THE BATTERIES ARE LOW. WIRING SHALL BE PERMANENT AND WITHOUT A DISCONNECTING SWITCH OTHER THAN AS REQUIRED FOR OVER CURRENT PROTECTION.

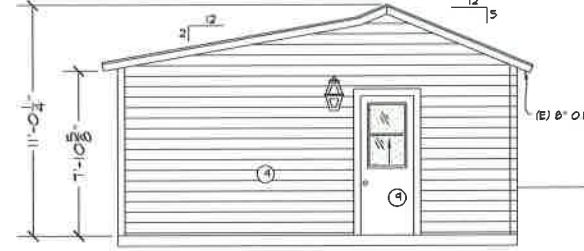
- ① ATTIC VENTS ARE REQUIRED TO BE PROTECTED BY 1/4 INCH CORROSION RESISTANT METAL MESH (SECTION 1505.5 UBC)
- ② ASPHALT ROOF SHINGLES OVER 15# FELT OVER 1/2" EXTERIOR GRADE PLYWOOD MIN. CLASS A ROOFING (ROOF TO MATCH EXISTING)
- ③ PROVIDE A CONTINUOUS METAL DRIP EDGE AT ROOF EDGE WITH 4 1/2" CONTINUOUS METAL STRIP WITH A 1 1/2" 2B 6A
- ④ (N)4" SIDING TO MATCH FRONT HISTORICAL MAIN HOUSE
- ⑤ TEMPERED 6LASS
- ⑥ (E)WINDOW OR DOOR TO REMAIN, UNLESS NOTED
- ⑦ (N)WINDOW OR DOOR SEE DOOR AND WINDOW SCHEDULE FOR SIZE
- ⑧ OVERHANG SEE ELEVATION
- ⑨ NEW LOCATION OF RELOCATED WINDOW
- ⑩ ROOF PITCH SEE ELEVATION
- ⑪ (E) ROOF



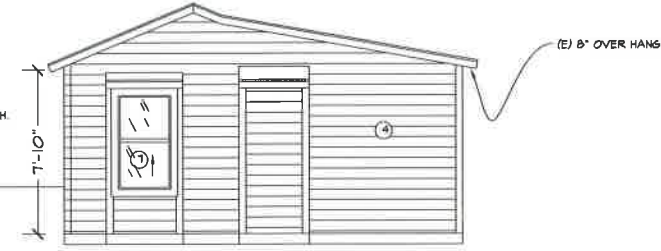
FRONT WEST ELEVATION
SCALE: 1/4" = 1'-0"



REAR EAST ELEVATION
SCALE: 1/4" = 1'-0"

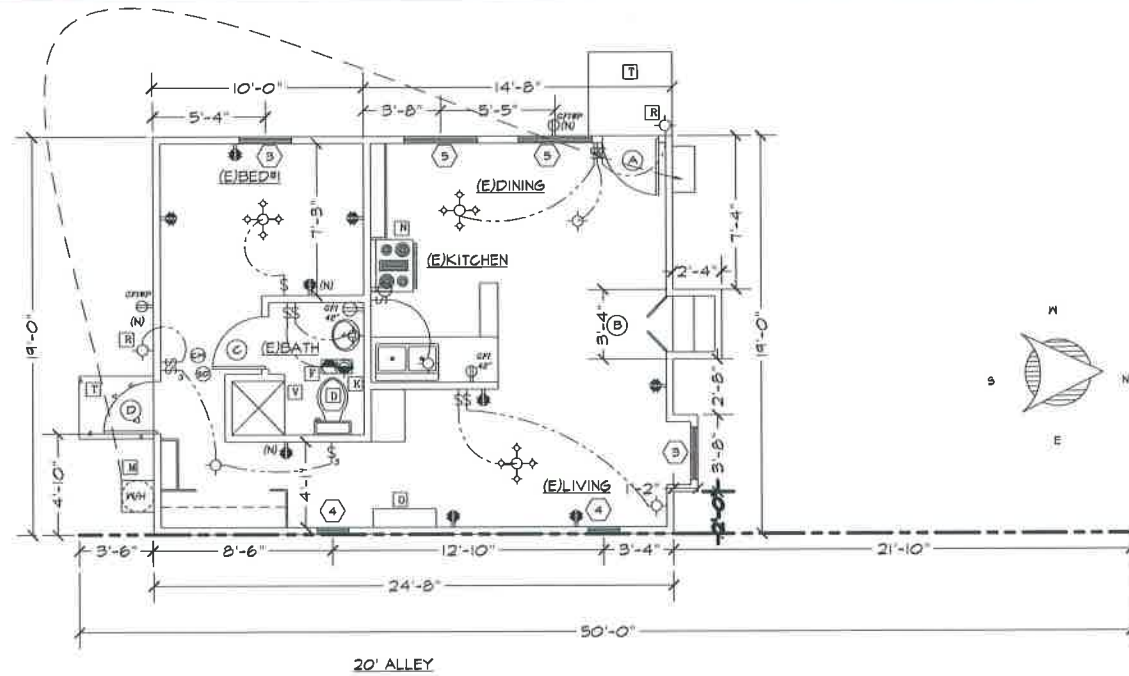


RIGHT SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



LEFT NORTH ELEVATION (GUEST HOUSE)
SCALE: 1/4" = 1'-0"

NOTE:
NO ALTERATION SHALL BE DONE TO EXISTING STRUCTURES WITHOUT CERTIFICATE OF APPROPRIATENESS FROM THE CULTURAL HERITAGE BOARD



(E) FLOOR PLAN
SCALE: 1/4" = 1'-0"

SIDING SPECIFICATIONS

*DIMENSIONS			
PRODUCT DEPTH (IN)	144	PRODUCT WIDTH (IN)	625
PRODUCT HEIGHT (IN)	0512	THICKNESS (IN)	312
PRODUCT LENGTH (IN)	144		
*DETAILS			
COLOR FAMILY	GRAY	SIDING FEATURES	PRE-PRIMED, WOOD GRAIN SURFACE
MATERIAL	CEMENT	SIDING TYPE	LAP SIDING
PAINABLE/STAINABLE	YES	UV PROTECTED	NO
PROFILES	CLAPBOARD	VERTICAL OR HORIZONTAL	HORIZONTAL
*WARRANTY / CERTIFICATIONS			
MANUFACTURER WARRANTY		30-YEAR LIMITED WARRANTY	

OWNER

GRAF. W. PHILLIP, LAINA MORRIS
444 S. "F" STREET, OXNARD, CA. 93030
805 816-1042 / APN.202-0-075-090

Sheet Content
GUEST HOUSE
ELEVATIONS
FLOOR PLAN

Date: 03-18-15
Drawn: SAUL VIGIL
Sheet:

A3



Vigil Design
a.k.a. V.I.G.
P.O. BOX 1281 OXNARD, CA 93032 / Lic. # 74224 (805) 479-4974

FLOOR PLAN NOTES

- A SHOWERS SHALL BE TYPE NOT ADVERSELY AFFECTED BY MOISTURE. SHOWERS SHALL BE FINISHED TO A HEIGHT OF 10 INCHES ABOVE THE DRAIN INLET. NON-ABSORBENT WALL ADJACENT TO SHOWER AND APPROVED SHATTER-RESISTANT MATERIALS FOR SHOWER ENCLOSURE.
- B NOTE: BUILDER TO PROVIDE A PERMANENTLY ACCESSIBLE 12-INCH SQUARE BATHUB TRAP ACCESS OR USE A NON-SLIP-JOINT TRAP. (409.2 UFG)
- C NOTE: PROVIDE 2X6 STUDS IN PLUMBING WALLS TO PREVENT EXCESSIVE NOTCHING OR BORING OF STUDS (SECTION 2520.11.9.2320.11.0 UFG)
- D PROVIDE ULTRA FLUSH WATER CLOSETS FOR ALL CONSTRUCTION. EXISTING SHOWER HEADS AND TOILETS MUST BE ADAPTED FOR LOW WATER CONSUMPTION.
- E REMOVE EXISTING WINDOW OR DOOR AND IN-FILL.
- F REMOVE EXISTING DOOR AND INSTALL NEW WINDOW.
- G FLUORESCENT (PIN BASED SOCKET) OR LED LIGHT.
- H CLOTHES DRYER VENT. MOISTURE EXHAUST DUCT SHALL TERMINATE OUTSIDE THE BUILDING & HAVE A BACK-DRAFT DAMPER.
- I FILL IN 2X STUD WALL.
- J CLOTHES DRYER VENT. MOISTURE EXHAUST DUCT SHALL TERMINATE OUTSIDE THE BUILDING & HAVE A BACK-DRAFT DAMPER.
- K (E) 100 AMP ELECTRICAL SERVICE.
- L BATH ROOM VENTILATION: (A) 1/20 OF THE FLOOR AREA. (1-1/2 SQUARE FEET MINIMUM) (B) 5 AIR CHANGES PER HOUR MIN. (3' FROM ANY INTAKE) 50 CFM MIN.
- M PROVIDE A 22" X 30" ATTIC SCUTTLE, LOCATED IN HALLWAY OR OTHER READILY ACCESSIBLE LOCATION (CBC SEC. 1505.1). ACCESS MAY BE FROM THE EXISTING ATTIC TO THE NEW ATTIC. INCLUDE A NOTE ON THE FLOOR PLAN OR ROOF FRAMING PLAN IF THIS IS TO OCCUR. SCUTTLE MAY NOT BE LOCATED INSIDE A CLOSET, EXCEPT A HALL-IN CLOSET.
- N NEW 114000 BTU HR. MAX. 15200 BTU/HR MIN. NATURAL GAS TANKLESS WATER HEATER BY RINNAI CORPORATION MODEL # RINNAI RES-1520237(FUD-US) 120 VOLT 60 HZ LESS THAN 10 AMP. ATTIC LOCATION WITH NEW 1" GAS LINE SUPPLY.
- O REQUIRED RANGE HOOD & VENT. INSTALLED PER MANUFACTURER'S INSTRUCTIONS. 100 CFM MIN.
- P (E) 15K BTU UNDER HOSE.
- Q NEW WILLIAMS 25K BTU NATURAL GAS TOP VENT WALL FURNACE WITH WALL THERMOSTAT, 167N x 49-3/4" H x 17" W P# 6 2504822 USE 1/2" IN. GAS PIPE.
- R FAN AIR RETURN.
- S HEATING REGISTER.
- T NOTE: ALL EXTERIOR LIGHTS TO BE MANUAL MOTION SENSOR & PHOTO CONTROL OR FLUORESCENT (PIN BASED SOCKET).
- U (E) BUILD IN HUTCH.
- V LANDING 5'-0" X WITH OF EXTERIOR DOOR MIN.
- W ORIGINAL STOVE EXHAUST FLUTE 'BRICK'.
- X ULTRA LOW-FLOW PLUMBING FIXTURES: (A) FAUCETS 1.5 GAL. 80 PSI / SHOWERHEADS 2.0 GAL. PER MINUTES MAX. FLOW RATE. (B) TOILETS, 1.28 GALLONS PER FLUSH MAXIMUM.
- Y (N) 42" HIGH RAILING.
- Z FURNACE VENT. INSTALLER TO VERIFY SIZE, LOCATION AND DUCT SIZE.
- AA
- AB
- AC
- AD
- AE
- AF
- AG
- AH
- AI
- AJ
- AK
- AL
- AM
- AN
- AO
- AP
- AQ
- AR
- AS
- AT
- AU
- AV
- AW
- AX
- AY
- AZ
- BA
- BB
- BC
- BD
- BE
- BF
- BG
- BH
- BI
- BJ
- BK
- BL
- BM
- BN
- BO
- BP
- BQ
- BR
- BS
- BT
- BU
- BV
- BW
- BX
- BY
- BZ
- CA
- CB
- CC
- CD
- CE
- CF
- CG
- CH
- CI
- CJ
- CK
- CL
- CM
- CN
- CO
- CP
- CQ
- CR
- CS
- CT
- CU
- CV
- CW
- CX
- CY
- CA
- CB
- CC
- CD
- CE
- CF
- CG
- CH
- CI
- CJ
- CK
- CL
- CM
- CN
- CO
- CP
- CQ
- CR
- CS
- CT
- CU
- CV
- CW
- CX
- CY
- CA
- CB
- CC
- CD
- CE
- CF
- CG
- CH
- CI
- CJ
- CK
- CL
- CM
- CN
- CO
- CP
- CQ
- CR
- CS
- CT
- CU
- CV
- CW
- CX
- CY
- CA
- CB
- CC
- CD
- CE
- CF
- CG
- CH
- CI
- CJ
- CK
- CL
- CM
- CN
- CO
- CP
- CQ
- CR
- CS
- CT
- CU
- CV
- CW
- CX
- CY
- CA
- CB
- CC
- CD
- CE
- CF
- CG
- CH
- CI
- CJ
- CK
- CL
- CM
- CN
- CO
- CP
- CQ
- CR
- CS
- CT
- CU
- CV
- CW
- CX
- CY
- CA
- CB
- CC
- CD
- CE
- CF
- CG
- CH
- CI
- CJ
- CK
- CL
- CM
- CN
- CO
- CP
- CQ
- CR
- CS
- CT
- CU
- CV
- CW
- CX
- CY
- CA
- CB
- CC
- CD
- CE
- CF
- CG
- CH
- CI
- CJ
- CK
- CL
- CM
- CN
- CO
- CP
- CQ
- CR
- CS
- CT
- CU
- CV
- CW
- CX
- CY
- CA
- CB
- CC
- CD
- CE
- CF
- CG
- CH
- CI
- CJ
- CK
- CL
- CM
- CN
- CO
- CP
- CQ
- CR
- CS
- CT
- CU
- CV
- CW
- CX
- CY
- CA
- CB
- CC
- CD
- CE
- CF
- CG
- CH
- CI
- CJ
- CK
- CL
- CM
- CN
- CO
- CP
- CQ
- CR
- CS
- CT
- CU
- CV
- CW
- CX
- CY
- CA
- CB
- CC
- CD
- CE
- CF
- CG
- CH
- CI
- CJ
- CK
- CL
- CM
- CN
- CO
- CP
- CQ
- CR
- CS
- CT
- CU
- CV
- CW
- CX
- CY
- CA
- CB
- CC
- CD
- CE
- CF
- CG
- CH
- CI
- CJ
- CK
- CL
- CM
- CN
- CO
- CP
- CQ
- CR
- CS
- CT
- CU
- CV
- CW
- CX
- CY
- CA
- CB
- CC
- CD
- CE
- CF
- CG
- CH
- CI
- CJ
- CK
- CL
- CM
- CN
- CO
- CP
- CQ
- CR
- CS
- CT
- CU
- CV
- CW
- CX
- CY
- CA
- CB
- CC
- CD
- CE
- CF
- CG
- CH
- CI
- CJ
- CK
- CL
- CM
- CN
- CO
- CP
- CQ
- CR
- CS
- CT
- CU
- CV
- CW
- CX
- CY
- CA
- CB
- CC
- CD
- CE
- CF
- CG
- CH
- CI
- CJ
- CK
- CL
- CM
- CN
- CO
- CP
- CQ
- CR
- CS
- CT
- CU
- CV
- CW
- CX
- CY
- CA
- CB
- CC
- CD
- CE
- CF
- CG
- CH
- CI
- CJ
- CK
- CL
- CM
- CN
- CO
- CP
- CQ
- CR
- CS
- CT
- CU
- CV
- CW
- CX
- CY
- CA
- CB
- CC
- CD
- CE
- CF
- CG
- CH
- CI
- CJ
- CK
- CL
- CM
- CN
- CO
- CP
- CQ
- CR
- CS
- CT
- CU
- CV
- CW
- CX
- CY
- CA
- CB
- CC
- CD
- CE
- CF
- CG
- CH
- CI
- CJ
- CK
- CL
- CM
- CN
- CO
- CP
- CQ
- CR
- CS
- CT
- CU
- CV
- CW
- CX
- CY
- CA
- CB
- CC
- CD
- CE
- CF
- CG
- CH
- CI
- CJ
- CK
- CL
- CM
- CN
- CO
- CP
- CQ
- CR
- CS
- CT
- CU
- CV
- CW
- CX
- CY
- CA
- CB
- CC
- CD
- CE
- CF
- CG
- CH
- CI
- CJ
- CK
- CL
- CM
- CN
- CO
- CP
- CQ
- CR
- CS
- CT
- CU
- CV
- CW
- CX
- CY
- CA
- CB
- CC
- CD
- CE
- CF
- CG
- CH
- CI
- CJ
- CK
- CL
- CM
- CN
- CO
- CP
- CQ
- CR
- CS
- CT
- CU
- CV
- CW
- CX
- CY
- CA
- CB
- CC
- CD
- CE
- CF
- CG
- CH
- CI
- CJ
- CK
- CL
- CM
- CN
- CO
- CP
- CQ
- CR
- CS
- CT
- CU
- CV
- CW
- CX
- CY
- CA
- CB
- CC
- CD
- CE
- CF
- CG
- CH
- CI
- CJ
- CK
- CL
- CM
- CN
- CO
- CP
- CQ
- CR
- CS
- CT
- CU
- CV
- CW
- CX
- CY
- CA
- CB
- CC
- CD
- CE
- CF
- CG
- CH
- CI
- CJ
- CK
- CL
- CM
- CN
- CO
- CP
- CQ
- CR
- CS
- CT
- CU
- CV
- CW
- CX
- CY
- CA
- CB
- CC
- CD
- CE
- CF
- CG
- CH
- CI
- CJ
- CK
- CL
- CM
- CN
- CO
- CP
- CQ
- CR
- CS
- CT
- CU
- CV
- CW
- CX
- CY
- CA
- CB
- CC
- CD
- CE
- CF
- CG
- CH
- CI
- CJ
- CK
- CL
- CM
- CN
- CO
- CP
- CQ
- CR
- CS
- CT
- CU
- CV
- CW
- CX
- CY
- CA
- CB
- CC
- CD
- CE
- CF
- CG
- CH
- CI
- CJ
- CK
- CL
- CM
- CN
- CO
- CP
- CQ
- CR
- CS
- CT
- CU
- CV
- CW
- CX
- CY
- CA
- CB
- CC
- CD
- CE
- CF
- CG
- CH
- CI
- CJ
- CK
- CL
- CM
- CN
- CO
- CP
- CQ
- CR
- CS
- CT
- CU
- CV
- CW
- CX
- CY
- CA
- CB
- CC
- CD
- CE
- CF
- CG
- CH
- CI
- CJ
- CK
- CL
- CM
- CN
- CO
- CP
- CQ
- CR
- CS
- CT
- CU
- CV
- CW
- CX
- CY
- CA
- CB
- CC
- CD
- CE
- CF
- CG
- CH
- CI
- CJ
- CK
- CL
- CM
- CN
- CO
- CP
- CQ
- CR
- CS
- CT
- CU
- CV
- CW
- CX
- CY
- CA
- CB
- CC
- CD
- CE
- CF
- CG
- CH
- CI
- CJ
- CK
- CL
- CM
- CN
- CO
- CP
- CQ
- CR
- CS
- CT
- CU
- CV
- CW
- CX
- CY
- CA
- CB
- CC
- CD
- CE
- CF
- CG
- CH
- CI
- CJ
- CK
- CL
- CM
- CN
- CO
- CP
- CQ
- CR
- CS
- CT
- CU
- CV
- CW
- CX
- CY
- CA
- CB
- CC
- CD
- CE
- CF
- CG
- CH
- CI
- CJ
- CK
- CL
- CM
- CN
- CO
- CP
- CQ
- CR
- CS
- CT
- CU
- CV
- CW
- CX
- CY
- CA
- CB
- CC
- CD
- CE
- CF
- CG
- CH
- CI
- CJ
- CK
- CL
- CM
- CN
- CO
- CP
- CQ
- CR
- CS
- CT
- CU
- CV
- CW
- CX
- CY
- CA
- CB
- CC
- CD
- CE
- CF
- CG
- CH
- CI
- CJ
- CK
- CL
- CM
- CN
- CO
- CP
- CQ
- CR
- CS
- CT
- CU
- CV
- CW
- CX
- CY
- CA
- CB
- CC
- CD
- CE
- CF
- CG
- CH
- CI
- CJ
- CK
- CL
- CM
- CN
- CO
- CP
- CQ
- CR
- CS
- CT
- CU
- CV
- CW
- CX
- CY
- CA
- CB
- CC
- CD
- CE
- CF
- CG
- CH
- CI
- CJ
- CK
- CL
- CM
- CN
- CO
- CP
- CQ
- CR
- CS
- CT
- CU
- CV
- CW
- CX
- CY
- CA
- CB
- CC
- CD
- CE
- CF
- CG
- CH
- CI
- CJ
- CK
- CL
- CM
- CN
- CO
- CP
- CQ
- CR
- CS
- CT
- CU
- CV
- CW
- CX
- CY
- CA
- CB
- CC
- CD
- CE
- CF
- CG
- CH
- CI
- CJ
- CK
- CL
- CM
- CN
- CO
- CP
- CQ
- CR
- CS
- CT
- CU
- CV
- CW
- CX
- CY
- CA
- CB
- CC
- CD
- CE
- CF
- CG
- CH
- CI
- CJ
- CK
- CL
- CM
- CN
- CO
- CP
- CQ
- CR
- CS
- CT
- CU
- CV
- CW
- CX
- CY
- CA
- CB
- CC
- CD
- CE
- CF
- CG
- CH
- CI
- CJ
- CK
- CL
- CM
- CN
- CO
- CP
- CQ
- CR
- CS
- CT
- CU
- CV
- CW
- CX
- CY
- CA
- CB
- CC
- CD
- CE
- CF
- CG
- CH
- CI
- CJ
- CK
- CL
- CM
- CN
- CO
- CP
- CQ
- CR
- CS
- CT
- CU
- CV
- CW
- CX
- CY
- CA
- CB
- CC
- CD
- CE
- CF
- CG
- CH
- CI
- CJ
- CK
- CL
- CM
- CN
- CO
- CP
- CQ
- CR
- CS
- CT
- CU
- CV
- CW
- CX
- CY
- CA
- CB
- CC
- CD
- CE
- CF
- CG
- CH
- CI
- CJ
- CK
- CL
- CM
- CN
- CO
- CP
- CQ
- CR
- CS
- CT
- CU
- CV
- CW
- CX
- CY
- CA
- CB
- CC
- CD
- CE
- CF
- CG
- CH
- CI
- CJ
- CK
- CL
- CM
- CN
- CO
- CP
- CQ
- CR
- CS
- CT
- CU
- CV
- CW
- CX
- CY
- CA
- CB
- CC
- CD
- CE
- CF
- CG
- CH
- CI
- CJ
- CK
- CL
- CM
- CN
- CO
- CP
- CQ
- CR
- CS
- CT
- CU
- CV
- CW
- CX
- CY
- CA
- CB
- CC
- CD
- CE
- CF
- CG
- CH
- CI
- CJ
- CK
- CL
- CM
- CN
- CO
- CP
- CQ
- CR
- CS
- CT
- CU
- CV
- CW
- CX
- CY
- CA
- CB
- CC
- CD
- CE
- CF
- CG
- CH
- CI
- CJ
- CK
- CL
- CM
- CN
- CO
- CP
- CQ
- CR
- CS
- CT
- CU
- CV
- CW
- CX
- CY
- CA
- CB
- CC
- CD
- CE
- CF
- CG
- CH
- CI
- CJ
- CK
- CL
- CM
- CN
- CO
- CP
- CQ
- CR
- CS
- CT
- CU
- CV
- CW
- CX
- CY
- CA
- CB
- CC
- CD
- CE
- CF
- CG
- CH
- CI
- CJ
- CK
- CL
- CM
- CN
- CO
- CP
- CQ
- CR
- CS
- CT
- CU
- CV
- CW
- CX
- CY
- CA
- CB
- CC
- CD
- CE
- CF
- CG
- CH
- CI
- CJ
- CK
- CL
- CM
- CN
- CO
- CP
- CQ
- CR
- CS
- CT
- CU
- CV
- CW
- CX
- CY
- CA
- CB
- CC
- CD
- CE
- CF
- CG
- CH
- CI
- CJ
- CK
- CL
- CM
- CN
- CO
- CP
- CQ
- CR
- CS
- CT
- CU
- CV
- CW
- CX
- CY
- CA
- CB
- CC
- CD
- CE
- CF
- CG
- CH
- CI
- CJ
- CK
- CL
- CM
- CN
- CO
- CP
- CQ
- CR
- CS
- CT
- CU
- CV
- CW
- CX
- CY
- CA
- CB
- CC
- CD
- CE
- CF
- CG
- CH
- CI
- CJ
- CK
- CL
- CM
- CN
- CO
- CP
- CQ
- CR
- CS
- CT
- CU
- CV
- CW
- CX
- CY
- CA
- CB
- CC
- CD
- CE
- CF
- CG
- CH
- CI
- CJ
- CK
- CL
- CM
- CN
- CO
- CP
- CQ
- CR
- CS
- CT
- CU
- CV
- CW
- CX
- CY
- CA
- CB
- CC
- CD
- CE
- CF
- CG
- CH
- CI
- CJ
- CK
- CL
- CM
- CN
- CO
- CP
- CQ
- CR
- CS
- CT
- CU
- CV
- CW
- CX
- CY
- CA
- CB
- CC
- CD
- CE
- CF
- CG
- CH
- CI
- CJ
- CK
- CL
- CM
- CN
- CO
- CP
- CQ
- CR
- CS
- CT
- CU
- CV
- CW
- CX
- CY
- CA
- CB
- CC
- CD
- CE
- CF
- CG
- CH
- CI
- CJ
- CK
- CL
- CM
- CN
- CO
- CP
- CQ
- CR
- CS
- CT
- CU
- CV
- CW
- CX
- CY
- CA
- CB
- CC
- CD
- CE
- CF
- CG
- CH
- CI
- CJ
- CK
- CL
- CM
- CN
- CO
- CP
- CQ
- CR
- CS
- CT
- CU
- CV
- CW
- CX
- CY
- CA
- CB
- CC
- CD
- CE
- CF
- CG
- CH
- CI
- CJ
- CK
- CL
- CM
- CN
- CO
- CP
- CQ
- CR
- CS
- CT
- CU
- CV
- CW
- CX
- CY
- CA
- CB
- CC
- CD
- CE
- CF
- CG
- CH
- CI
- CJ
- CK
- CL
- CM
- CN
- CO
- CP
- CQ
- CR
- CS
- CT
- CU
- CV
- CW
- CX
- CY
- CA
- CB
- CC
- CD
- CE
- CF
- CG
- CH
- CI
- CJ
- CK
- CL
- CM
- CN
- CO
- CP
- CQ
- CR
- CS
- CT
- CU
- CV
- CW
- CX
- CY
- CA
- CB
- CC
- CD
- CE
- CF
- CG
- CH
- CI
- CJ
- CK
- CL
- CM
- CN
- CO
- CP
- CQ
- CR
- CS
- CT
- CU
- CV
- CW
- CX
- CY
- CA
- CB
- CC
- CD
- CE
- CF
- CG



Revisions
1-10-15 4-18-16

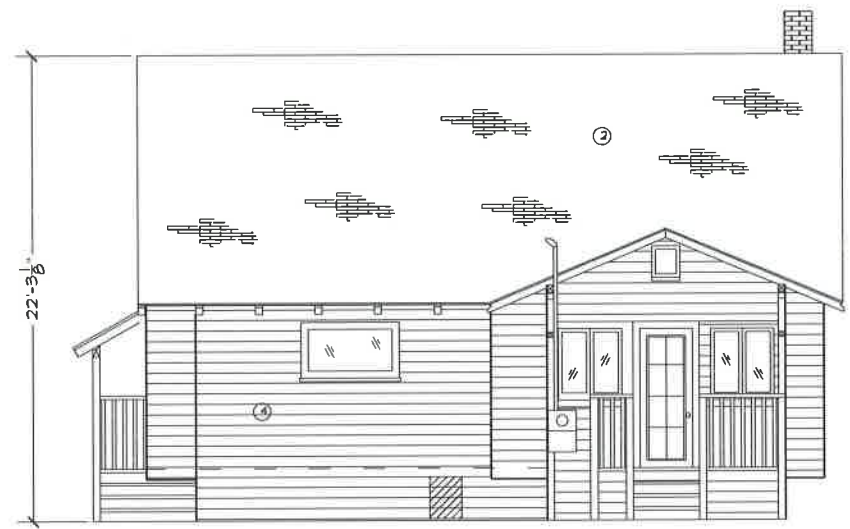
Vigil Design
a.k.a. V.I.G.
P.O. BOX 1281 OXNARD, CA 93032 / Lic. # 79224 (805) 479-4974

OWNER
GRAF, W. PHILLIP, LAINA MORRIS
444 S. "F" STREET, OXNARD, CA. 93030
805 816-1042 / APN.202-0-075-090

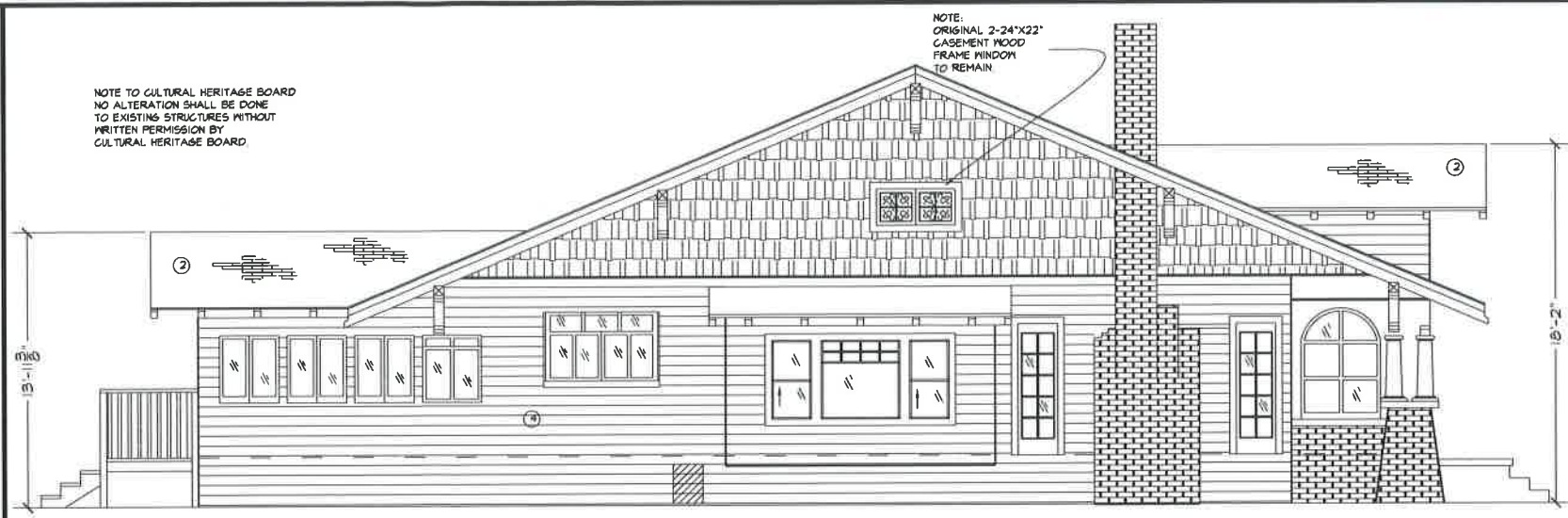
Sheet Content
(E) ELEVATIONS

Date: 05-20-15
Drawn: SAUL VIGIL
Sheet:

A6



REAR EAST ELEVATION
SCALE: 1/4" = 1'-0"

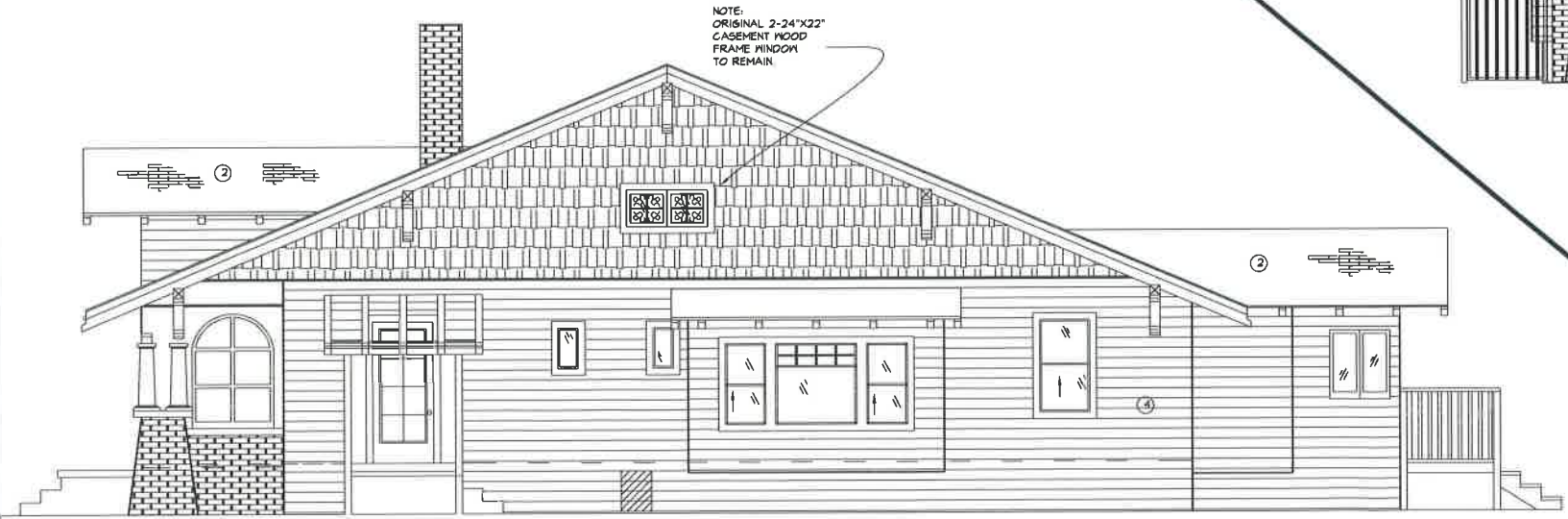


LEFT NORTH ELEVATION (MAIN HOUSE)
SCALE: 1/4" = 1'-0"

NOTE TO CULTURAL HERITAGE BOARD
NO ALTERATION SHALL BE DONE
TO EXISTING STRUCTURES WITHOUT
WRITTEN PERMISSION BY
CULTURAL HERITAGE BOARD.

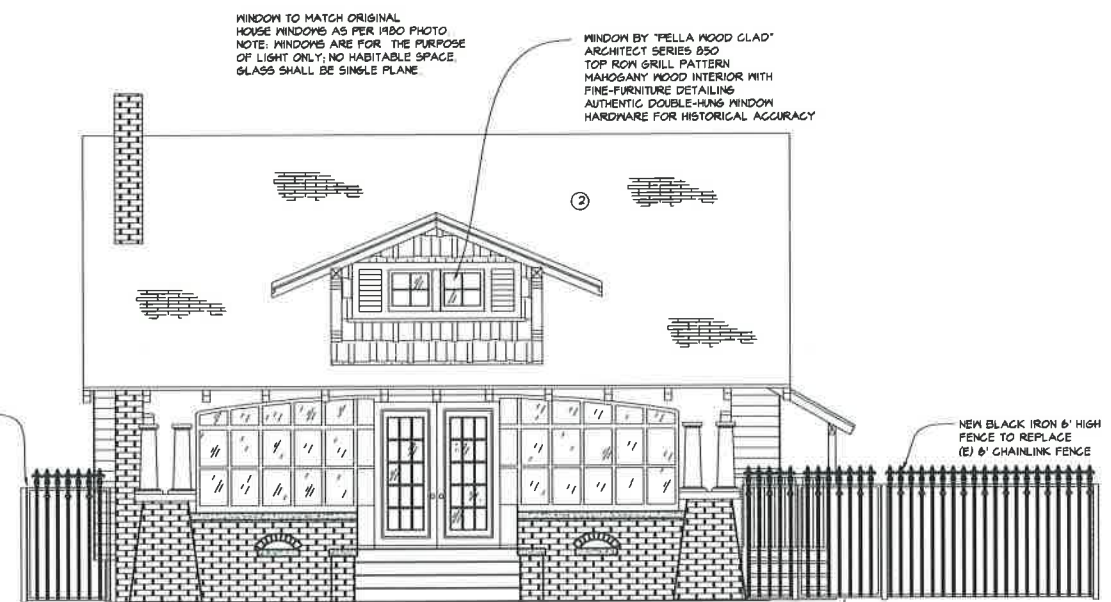
NOTE:
ORIGINAL 2'-24"X22"
CASEMENT WOOD
FRAME WINDOW
TO REMAIN.

② (E) ASPHALT ROOF SHINGLES OVER
15# FELT OVER 1/2" EXTERIOR GRADE
PLYWOOD MIN. GLASS A ROOFING
(ROOF TO MATCH EXISTING)
③ (E) 1/4" SIDING



RIGHT SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

NOTE:
ORIGINAL 2'-24"X22"
CASEMENT WOOD
FRAME WINDOW
TO REMAIN.



FRONT WEST ELEVATION
SCALE: 1/4" = 1'-0"

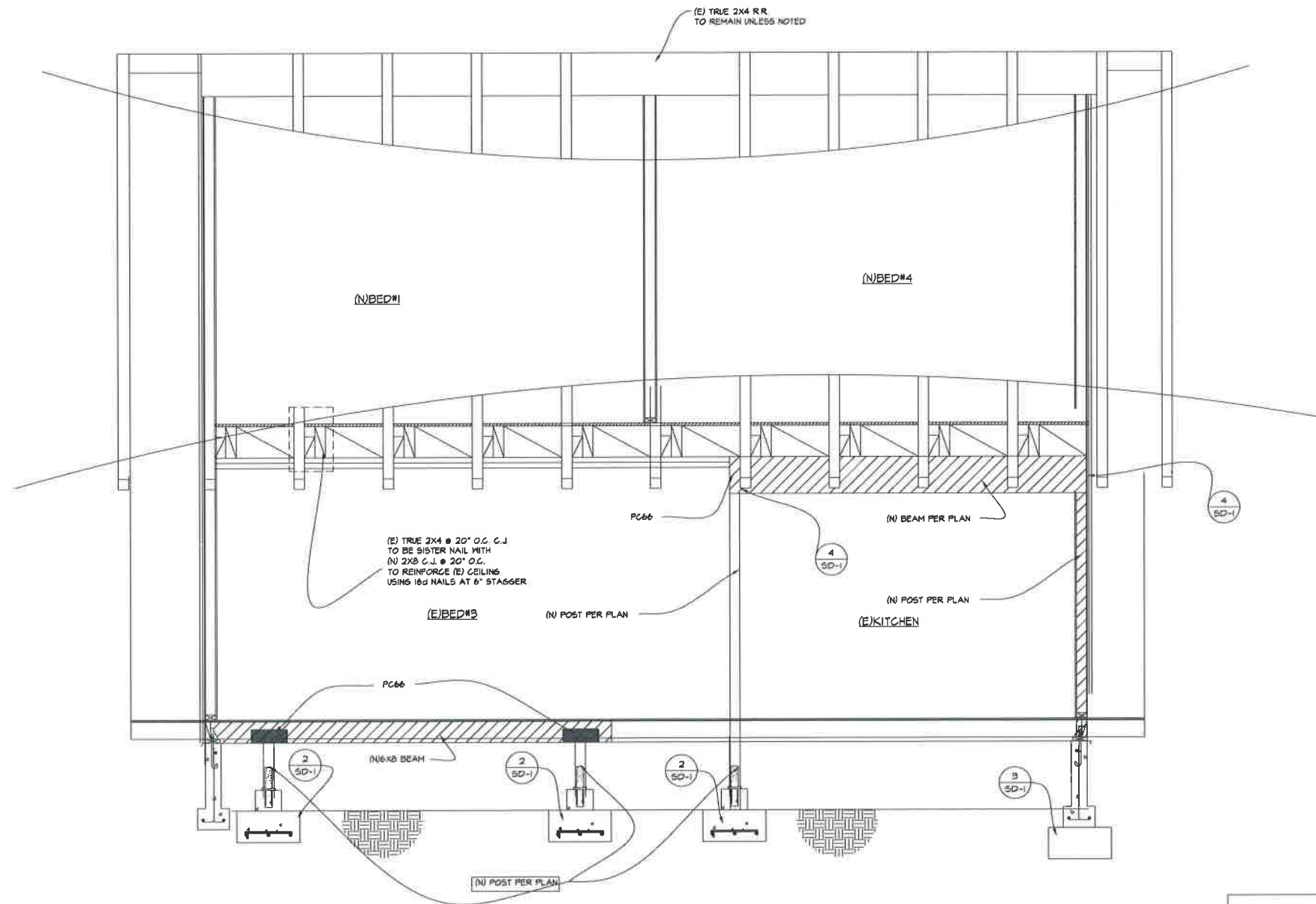
WINDOW TO MATCH ORIGINAL
HOUSE WINDOWS AS PER 1980 PHOTO
NOTE: WINDOWS ARE FOR THE PURPOSE
OF LIGHT ONLY, NO HABITABLE SPACE.
GLASS SHALL BE SINGLE PLANE.

WINDOW BY "PELLA WOOD GLAD"
ARCHITECT SERIES 850
TOP ROW GRILL PATTERN
MANGONANY WOOD INTERIOR WITH
FINE-FURNITURE DETAILING
AUTHENTIC DOUBLE-HUNG WINDOW
HARDWARE FOR HISTORICAL ACCURACY

NEW BLACK IRON
6' HIGH GATE TO REPLACE
(E) CHAINLINK GATE

NEW BLACK IRON 6' HIGH
FENCE TO REPLACE
(E) 6' CHAINLINK FENCE

NEW BLACK IRON
6' HIGH GATE TO REPLACE
(E) CHAINLINK GATE



SECTION A-A
SCALE: 1/2" = 1'-0"

FOR REFERENCE ONLY

Revisions	

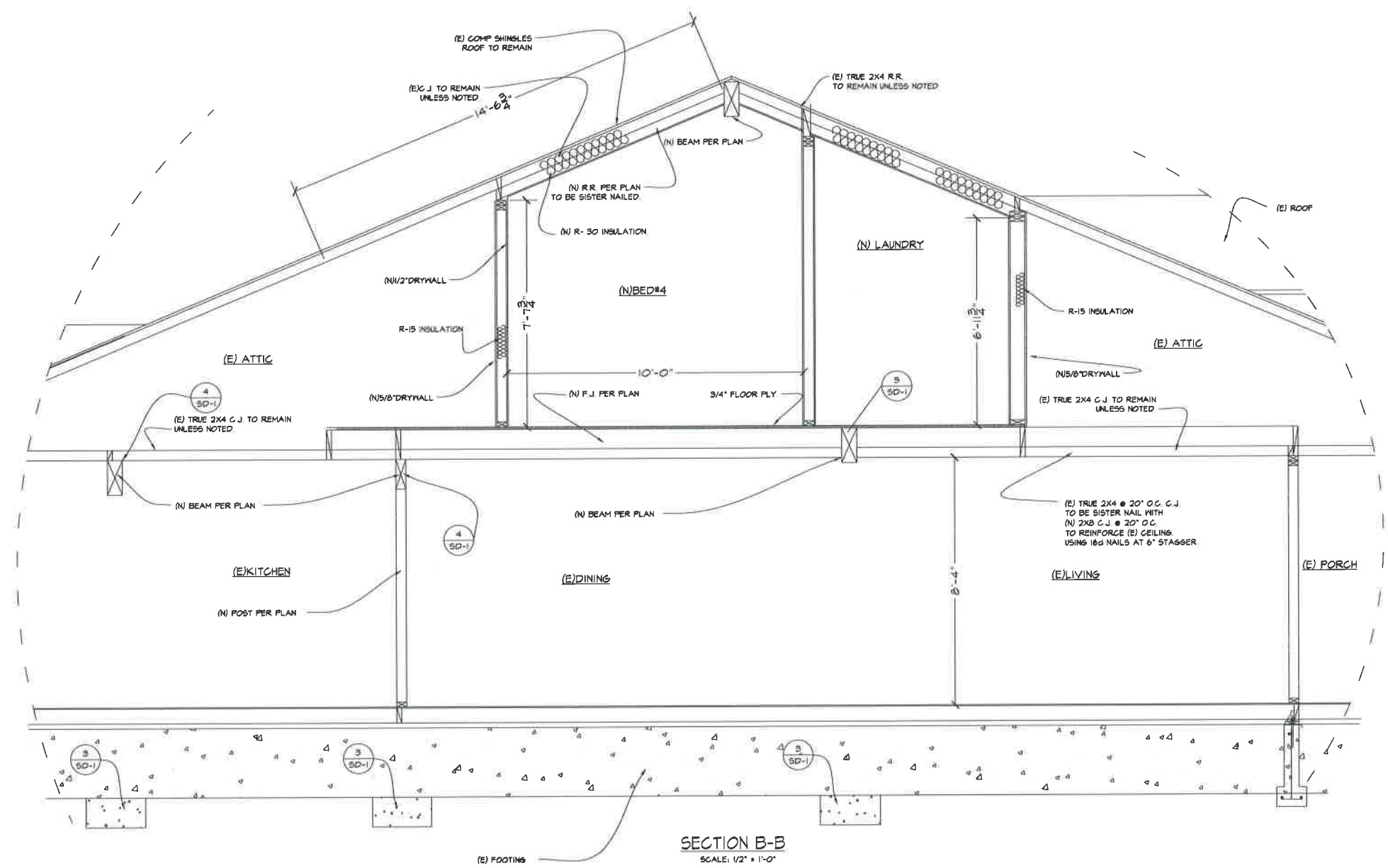
Vigil Design
a.k.a. V.I.G.
P.O. BOX 1281 OXNARD, CA 93032 / Lic. # 74224 (805) 479-4974

OWNER
GRAFIA, PHILLIP, LAINA MORRIS
444 S. "F" STREET, OXNARD, CA. 93030
805 816-1042 / APN.202-0-075-090

Sheet Content
SECTION A-A

Date: 05-18-15
Drawn: SAUL VISIL
Sheet:

S3



SECTION B-B
SCALE: 1/2" = 1'-0"

FOR REFERENCE ONLY

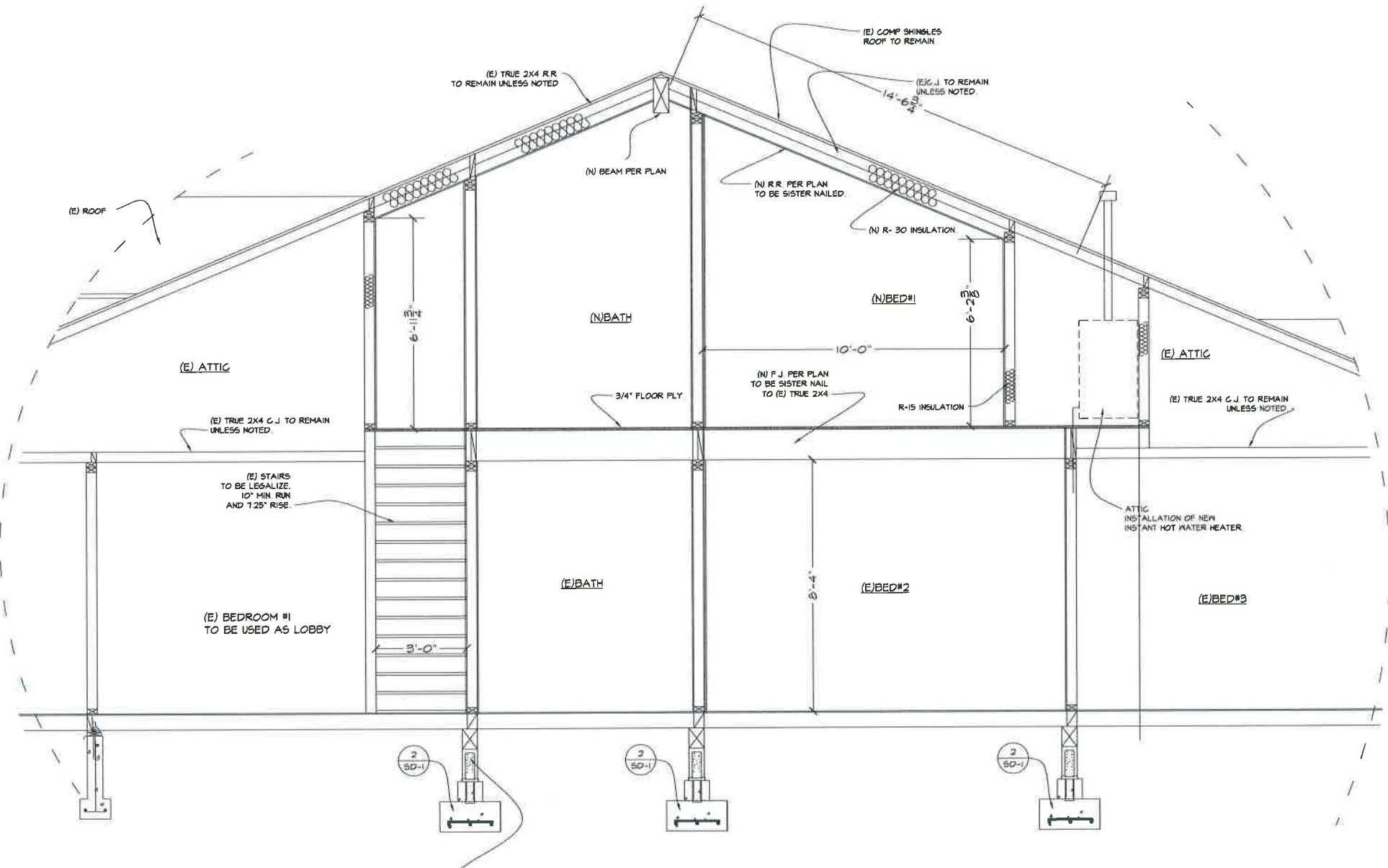
Revisions

Vigil Design
a.k.a. V.I.G.
P.O. BOX 1281 OXNARD, CA 93032 / Lic. # 19224 (805) 479-4974

OWNER
GRAFIA, PHILLIP, LAINA MORRIS
444 S. "F" STREET, OXNARD, CA. 93030
805 816-1042 / APN.202-0-075-090

Sheet Content
SECTION B-B

Date: 05-18-15
Drawn: SAUL VIGIL
Sheet: S4



SECTION C-C
SCALE: 1/2" = 1'-0"

FOR REFERENCE ONLY

Revisions	

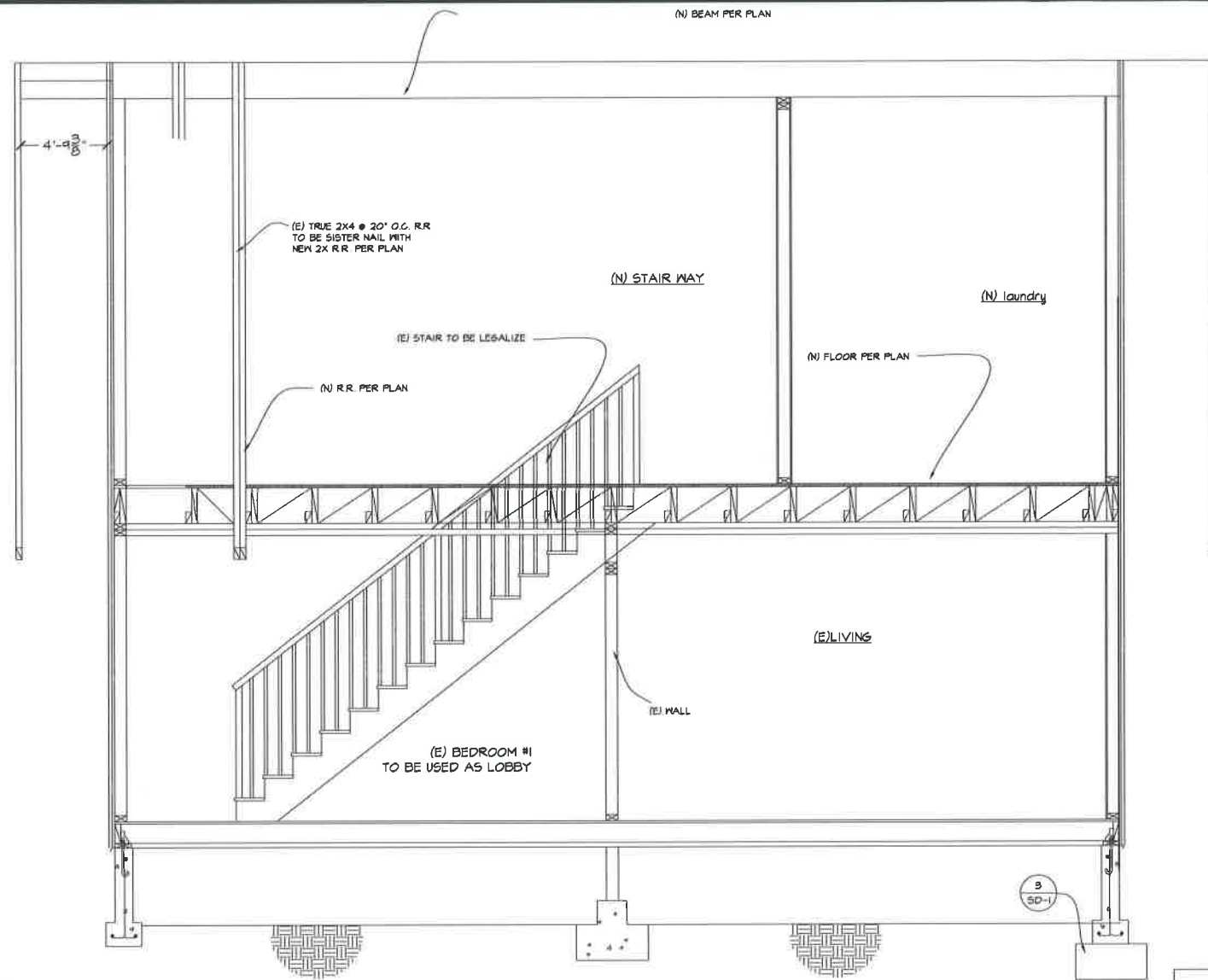
Vigil Design
a.k.a. V.I.G.
PO BOX 1281 OXNARD, CA 93032 / Lic. # 14224 (805) 479-4974

OWNER
GRAF, W. PHILLIP, LAINA MORRIS
444 S. "F" STREET, OXNARD, CA. 93030
805 816-1042 / APN. 202-0-075-090

Sheet Content
SECTION C-C

Date: 05-18-15
Drawn: SAUL VIGIL
Sheet:

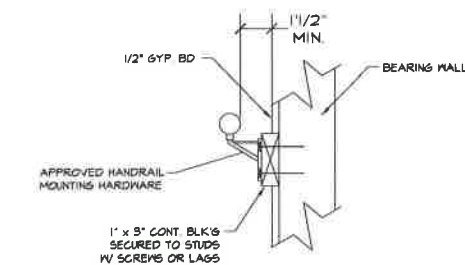
S5



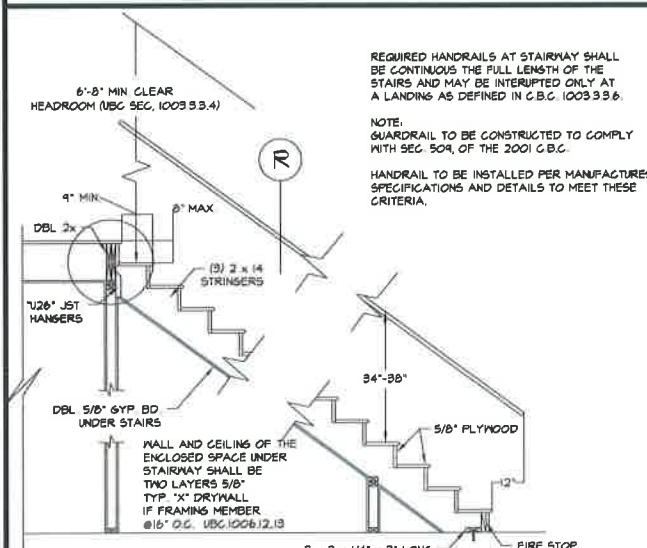
SECTION D-D
SCALE: 1/2" = 1'-0"

FOR REFERENCE ONLY

HANDRAILS SHALL BE CONTINUOUS THE FULL LENGTH OF THE STAIRS. HANDGRIP SHALL BE LAPPED TO BEARING STUD WALL AND SHALL PROJECT FROM WALL AND SHALL HAVE A SPACE OF NOT LESS THAN 1-1/2" BETWEEN THE WALL AND HANDRAIL. THE HANDGRIP PORTION OF HANDRAIL SHALL NOT BE LESS THAN 1-1/4" NOR MORE THAN 2" IN CROSS SECTION DIMENSION AND SHALL HAVE A SMOOTH SURFACE WITH NO SHARP CORNERS.



31 HANDRAIL DETAIL-R
SCALE: N.T.S.

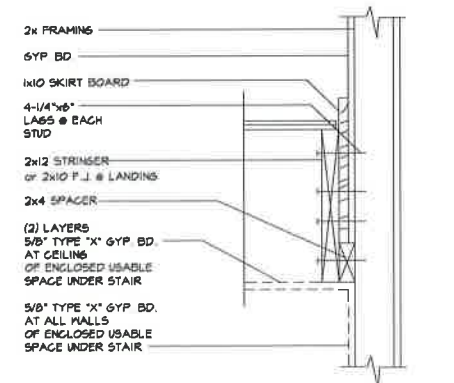


32 TYPICAL STAIR DETAIL
SCALE: N.T.S.

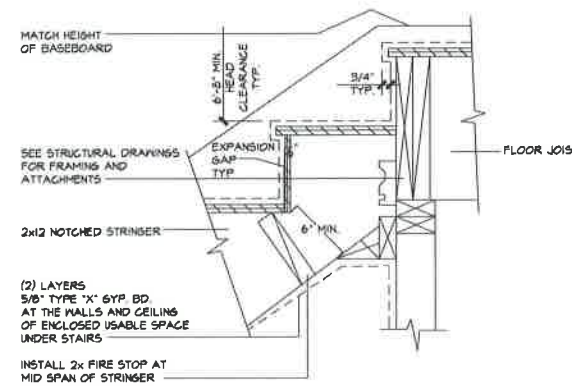
REQUIRED HANDRAILS AT STAIRWAY SHALL BE CONTINUOUS THE FULL LENGTH OF THE STAIRS AND MAY BE INTERRUPTED ONLY AT A LANDING AS DEFINED IN C.B.C. 1009.33.4.

NOTE: GUARDRAIL TO BE CONSTRUCTED TO COMPLY WITH SEC. 509, OF THE 2001 C.B.C.

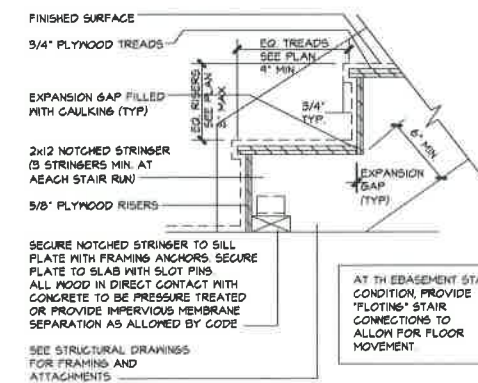
HANDRAIL TO BE INSTALLED PER MANUFACTURERS SPECIFICATIONS AND DETAILS TO MEET THESE CRITERIA.



33 SKIRT
AT WALL - INTERIOR
SCALE: N.T.S.



34 STRINGER
AT LANDING - INTERIOR
SCALE: N.T.S.



35 STRINGER
AT FLOOR - INTERIOR
SCALE: N.T.S.



Revisions

Vigil Design
a.k.a. V.I.G.
P.O. BOX 1281 OXNARD, CA 93032 / L.L. # 19224 (805) 479-4974

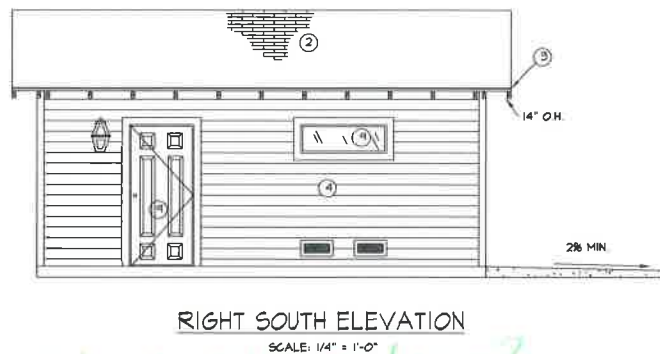
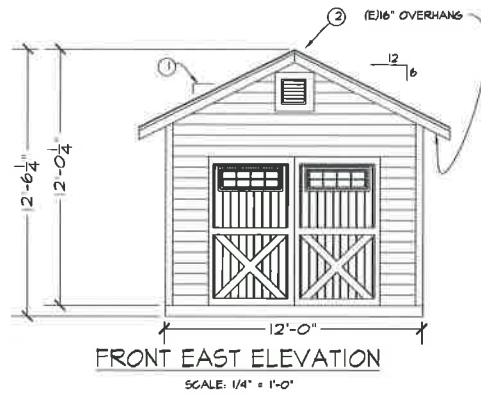
OWNER
GRAFIA, PHILLIP, LAINA MORRIS
444 S. "F" STREET, OXNARD, CA. 93030
805 816-1042 / APN.202-0-075-090

Sheet Content
SECTION D-D

Date: 05-18-15
Draw: SAUL VIDIL
Sheet:

S6

NEW GARAGE "E" sheet A1



What is the siding?



- 1 ATTIC VENTS ARE REQUIRED TO BE PROTECTED BY 1/4 INCH CORROSION RESISTANT METAL MESH (SECTION 1505.5 UBC)
- 2 ASPHALT ROOF SHINGLES OVER 1/4 FELT OVER 1/2" EXTERIOR GRADE FLYWOOD MIN. CLASS A ROOFING (ROOF TO MATCH EXISTING)
- 3 PROVIDE A CONTINUOUS METAL DRIP EDGE AT ROOF EDGE WITH 4 1/2" CONTINUOUS METAL STRIP WITH A 1/2", 20 GA.
- 4 (N)4" SIDING TO MATCH FRONT HISTORICAL MAIN HOUSE
- 5
- 6 TEMPERED GLASS
- 7 (E) WINDOW OR DOOR TO REMAIN UNLESS NOTED
- 8 NEW LOCATION OF RELOCATED WINDOW
- 9 (N) WINDOW OR DOOR. SEE DOOR AND WINDOW SCHEDULE FOR SIZE
- 10 OVERHANGS SEE ELEVATION
- 11 ROOF PITCH SEE ELEVATION
- 12 (E) ROOF

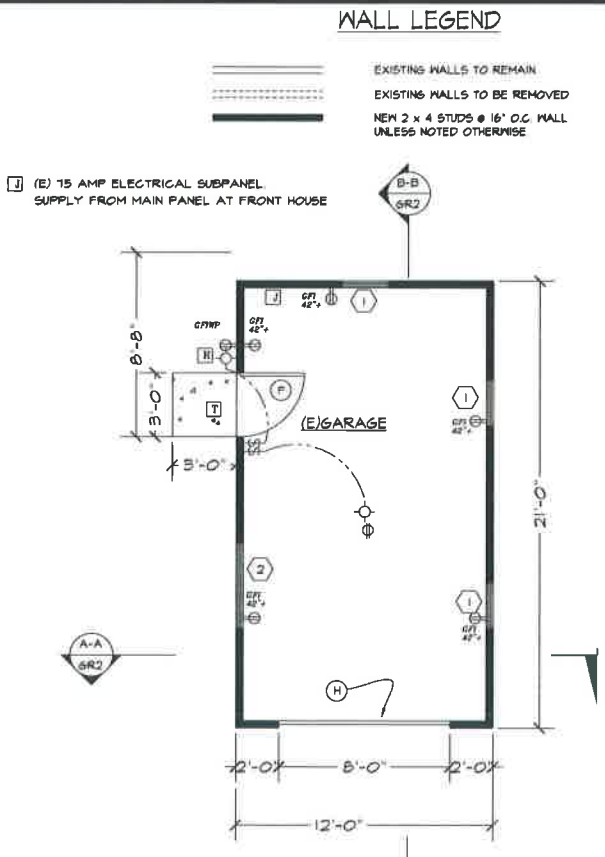
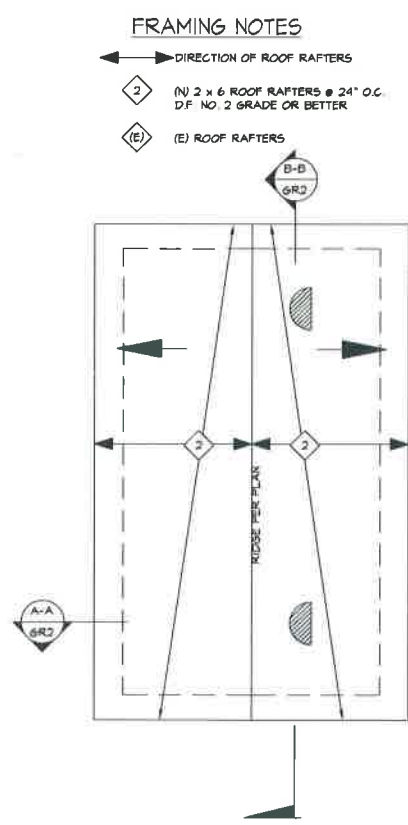
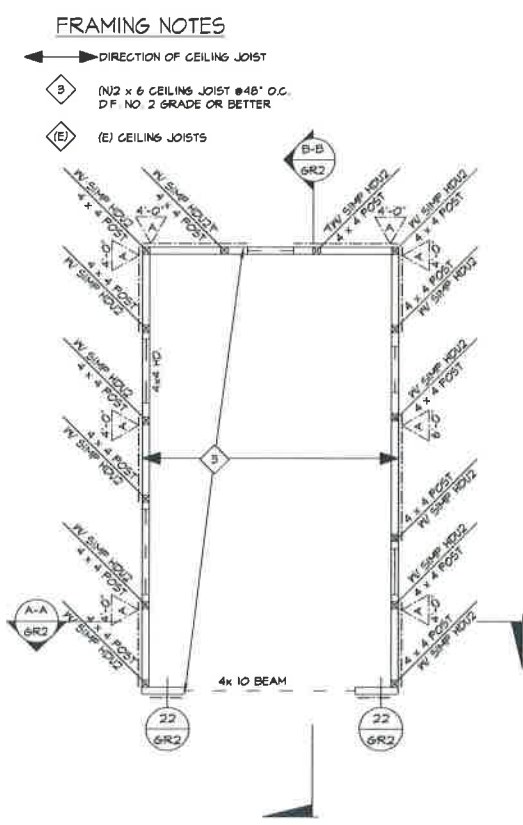
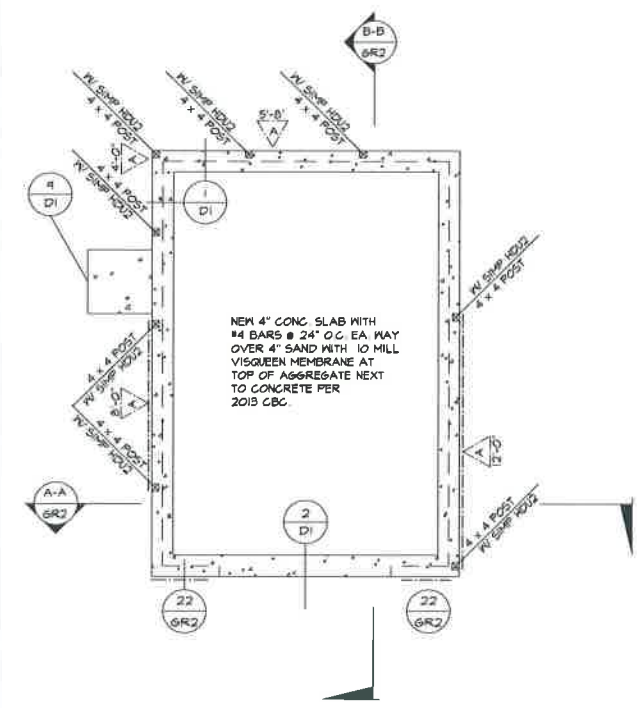
WINDOW SCHEDULE

Note: All windows shall REMAIN UNLESS NOTED

MARK	SIZE	DESCRIPTION	REMARKS	SIZE OF HEADER	U-FACTOR	SH&C
(E)	EXISTING	EXISTING	EXISTING	EXISTING		
1				SEE FRAMING PLAN		
2						

DOOR SCHEDULE

EXISTING DOOR SCHEDULE				
MARK	SIZE	DESCRIPTION	REMARKS	REMARKS
(E)	EXISTING			
A				
B				
C				
D				
F	306B	SOLID WOOD		
H	9x7	CARRIAGE DOORS LOOK		



Vigil Design
a.k.a. V.I.G.
P.O. BOX 1281 OXNARD, CA 93032 / Lic. # 19224 (805) 479-4974

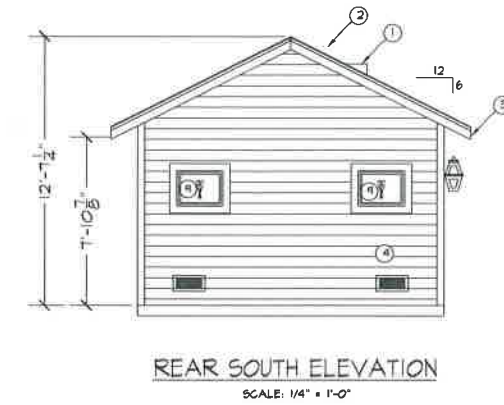
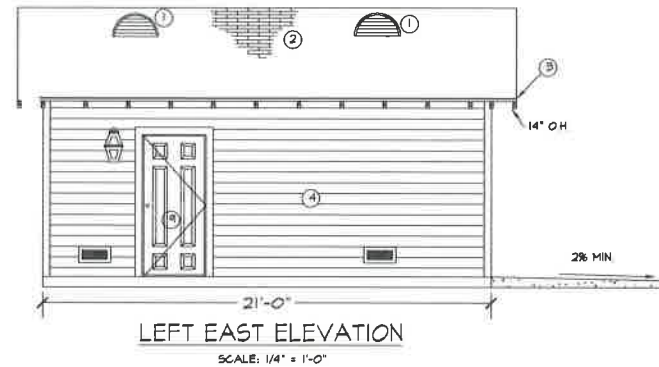
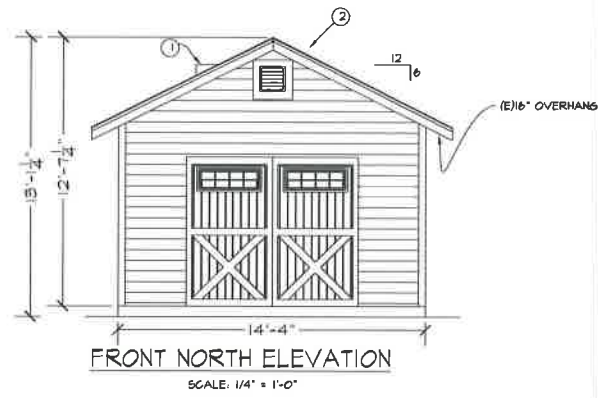
OWNER
GRAF, W. PHILLIP, LAINA MORRIS
444 S. "F" STREET, OXNARD, CA. 93030
805 816-1042 / APN. 202-0-075-090

Sheet Content
GARAGE
ELEVATIONS
FOUNDATION PLAN
FRAMING PLAN
ROOF PLAN
FLOOR PLAN

Date: 02-11-16
Drawn: SAUL VIGIL
Sheet:



GARAGE "D" sheet A1



- ① ATTIC VENTS ARE REQUIRED TO BE PROTECTED BY 1/4 INCH CORROSION RESISTANT METAL MESH (SECTION 1505.5 UBC)
- ② ASPHALT ROOF SHINGLES OVER 5# FELT OVER 1/2" EXTERIOR GRADE PLYWOOD MIN. CLASS A ROOFING (ROOF TO MATCH EXISTING)
- ③ PROVIDE A CONTINUOUS METAL DRIP EDGE AT ROOF EDGE WITH 4 1/2" CONTINUOUS METAL STRIP WITH A 1 1/2", 2B 6A.
- ④ (N)4" SIDING TO MATCH FRONT HISTORICAL MAIN HOUSE
- ⑤
- ⑥ TEMPERED GLASS
- ⑦ (E) WINDOW OR DOOR TO REMAIN, UNLESS NOTED
- ⑧ NEW LOCATION OF RELOCATED WINDOW
- ⑨ (N) WINDOW OR DOOR. SEE DOOR AND WINDOW SCHEDULE FOR SIZE
- ⑩ OVERHANGS SEE ELEVATION
- ⑪ ROOF PITCH SEE ELEVATION
- ⑫ (E) ROOF

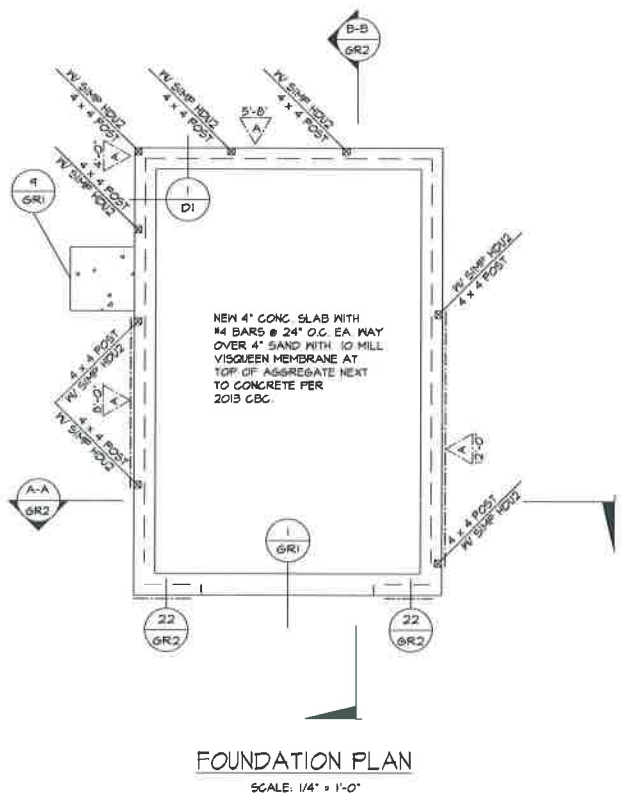
WINDOW SCHEDULE

Note: All windows shall REMAIN UNLESS NOTED

MARK	SIZE	DESCRIPTION	REMARKS	SIZE OF HEADER	U-FACTOR	SHGC
(E) 1	26"X20"	FIX	TEMPERED	SEE FRAMING PLAN	*	*
(E) 2	46"X16"	AWNING	WOOD		*	*

DOOR SCHEDULE

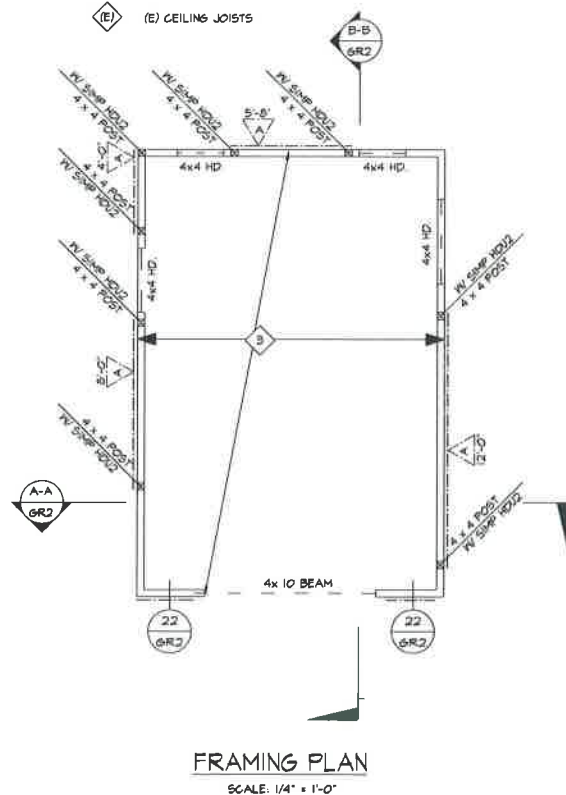
MARK	SIZE	DESCRIPTION	REMARKS	REMARKS
(E) 1	EXISTING	EXISTING		
A				
B				
C				
D				
F	306B	SOLID WOOD		
G	(2)-54X1'	CARRIAGE DOORS SKING TYPE		OPTION #1
H	4X1'	CARRIAGE DOORS LOOK		OPTION #2



FRAMING NOTES

→ DIRECTION OF CEILING JOIST

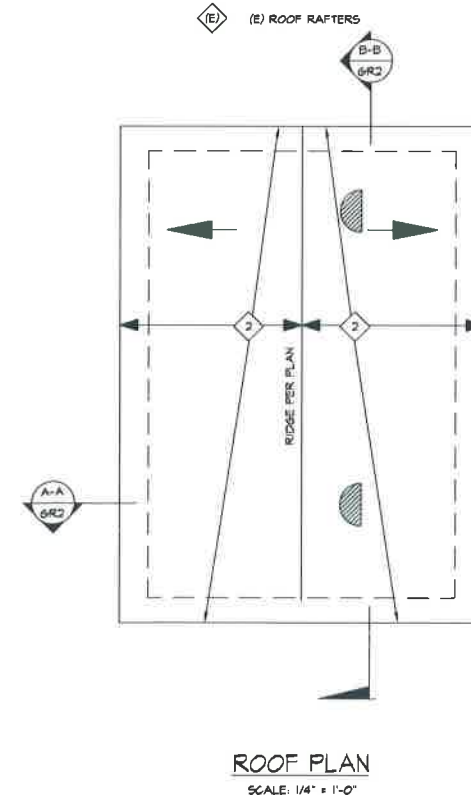
- ③ (N) 2 x 6 CEILING JOIST @ 48" O.C. D.F. NO. 2 GRADE OR BETTER
- ④ (E) CEILING JOISTS



FRAMING NOTES

→ DIRECTION OF ROOF RAFTERS

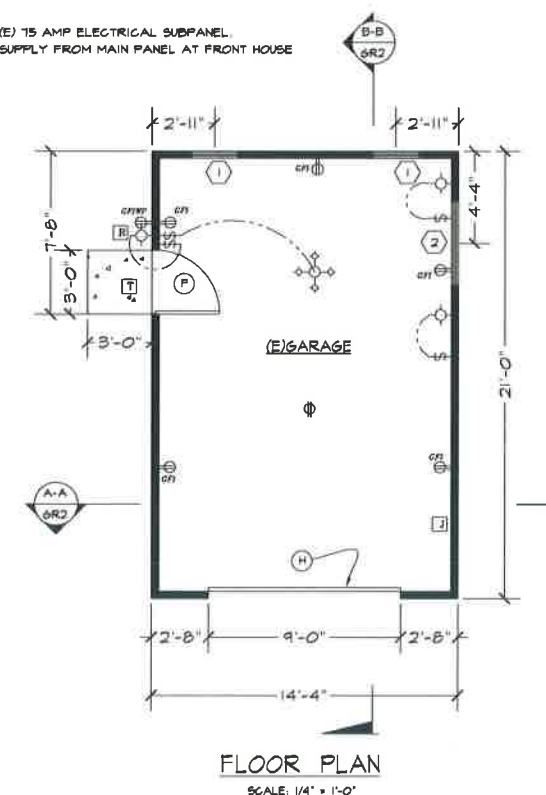
- ② (N) 2 x 6 ROOF RAFTERS @ 24" O.C. D.F. NO. 2 GRADE OR BETTER
- ④ (E) ROOF RAFTERS



WALL LEGEND

- EXISTING WALLS TO REMAIN
- EXISTING WALLS TO BE REMOVED
- NEW 2 x 4 STUDS @ 16" O.C. WALL UNLESS NOTED OTHERWISE

- ① (E) 75 AMP ELECTRICAL SUBPANEL. SUPPLY FROM MAIN PANEL AT FRONT HOUSE



Vigil Design
a.k.a. V.I.G.
P.O. BOX 1281 OXNARD, CA 93032 / LIC # 142224 (805) 479-4974

OWNER
GRAF, W. PHILLIP, LAINA MORRIS
444 S. "F" STREET, OXNARD, CA. 93030
805 816-1042 / APN.202-0-075-090

Sheet Content
GARAGE ELEVATIONS
FOUNDATION PLAN
FRAMING PLAN
ROOF PLAN
FLOOR PLAN

Date: 03-18-15
Drawn: SAUL VIGIL
Sheet:

GR1

LAND USE APPLICATION FORM

APPLICATIONS ARE ACCEPTED BY APPOINTMENT ONLY - PLEASE TYPE OR WRITE LEGIBLY

Type of Permit Requested

- | | | |
|---|--|--|
| <input type="checkbox"/> Annexation | <input type="checkbox"/> General Plan Amendment | <input type="checkbox"/> Specific Plan Review/Amendment |
| <input type="checkbox"/> Coastal Admin Modification to CDP, DRP | <input type="checkbox"/> Lot Line Adjustment | <input type="checkbox"/> Tentative Parcel Map |
| <input type="checkbox"/> Coastal Development Permit (CDP) | <input type="checkbox"/> Major Modification to SUP or PD | <input type="checkbox"/> Tentative Subdivision Map |
| <input type="checkbox"/> CBD Design Review Permit | <input type="checkbox"/> Minor Modification to SUP or PD | <input type="checkbox"/> Zone Change |
| <input type="checkbox"/> Development Design Review Permit (DDR) | <input type="checkbox"/> Planned Development Permit (PD) | <input type="checkbox"/> Zone Variance |
| <input type="checkbox"/> Final Parcel Map | <input type="checkbox"/> Pre-Application | <input checked="" type="checkbox"/> Other <u>cert of appropriateness</u> |
| <input type="checkbox"/> Final Subdivision Map | <input type="checkbox"/> Special Use Permit (SUP) | |

Description of Proposed Project

(Include type of development, number of residential units, number of affordable units/request for payment of in-lieu fee, parcel size, square feet of building area, etc. If this application is for a modification, describe the requested change. Attach more pages if required.)

Property Information

Name of Project PROPOSED 2-CAR GARAGE ADD.
(optional)
Property Location 444 S. "F" STREET
OXNARD, CA 93030
Assessor's Parcel Number(s) 202-0-075-090

Additional Info

Current Zoning _____ Proposed Zoning _____
Current General Plan _____ Proposed GP _____

Property Owner Information

Name PHILLIP GRAF
Address _____
Phone (805) 816-1042
Email _____

I hereby certify that I am the owner of record of the subject project property(ies) described on this application and that I approve of the action requested herein.

Signature _____
For additional property owners & properties, please use the back of this form and additional sheets if necessary.

Designated Agent (Attorney-in-Fact)

Designation of Agent (Attorney-in-Fact)
I, _____
(property owner)

hereby designate _____
(agent) as the Attorney-in-Fact for the Property Owner for all purposes of processing this application with the City of Oxnard.

Signature _____
For multiple property owners, use additional Land Use Application forms.

Primary Contact/Designated Agent (Attorney-in-Fact)

Name Saul Vigil
Address _____

Tel 805 479 4974 Fax _____
Signature _____
Email _____

Other Persons to be Notified:

OFFICE USE ONLY

Fees <u>\$ 211.92</u> Amount	Date Received <u>12/11/16</u>	Related / Concurrent Permits
Permit Fee <u>* THIRD PARTY</u>	Permit No. <u>15-683-02</u>	
Env. Fees <u>FEES plus 15%</u>	Env Det./No.	
Total <u>admin charge</u>	Final Action	Rec'd By <u>JUAN</u>
Verified By <u>will apply</u>	Expiration Date	Assigned to:

* INCL 1 SET FOR PLNG OF CHECKLIST ITEMS

County of Ventura
Cultural Heritage Board Meeting
May 9, 2016

PROJECT REVIEW NOTES



Permit No. COA 15-683-02
Project Name 444 South F Street

Project SINGLE CAR GARAGE:

Description: - Demo non-permitted 289-square foot single car garage built along the rear property. Structure was re-constructed in 2015 without City or Oxnard Cultural Heritage review/approval.
- Structure does not meet City setbacks and garage size minimum standard. New 2 car garage proposed.

DETACHED
2-CAR GARAGE:

- New 400 square foot, detached 2-car garage (21'X21') with connecting driveway to alleyway.

GUEST HOUSE:

- Interior/exterior rehab of existing guest house located along the rear property alley.
- Re-roof with new asphalt roof shingles. Installed (No Permit)
- New siding application; 4-inch horizontal lap siding (Hardie Plank). Installed (No Permit)

MAIN HOUSE:

- House has been unoccupied for over 10 years and interior and exterior rehab/repairs proposed
- Interior alterations to re-inforce and legalize non-permitted interior alterations
- New 6-foot high iron fence to replace chain link fence. Installed (No permit needed for fence under 6-feet high)
- Demo portion of deck in back to comply with electrical panel access requirements

Address: 444 South F Street

APN: 202-0-075-090

Zoning: R-1

GP: _____

Related Png Permits: COA # 15-683-02

Related Bldg Permits: 15-2602 /15-22

Code Compliance: NO YES

Neighborhood: Wilson Neighborhood

CC Case No. 14-1505

Contaminated Site: NO YES

Environmental Determination: _____

Henry T Oxnard LNMK #161

Miscellaneous: _____

Misc Notes: _____

COA # 15.683.02



Certificate of Appropriateness Application

County of Ventura • Resource Management Agency • Planning Division
800 S. Victoria Avenue, Ventura, CA 93009-1740 • (805) 654-2478 • ventura.org/rma/planning

Sections 1364-12 and 1366 of Ventura County Ordinance No. 4225, require submission and approval of a Certificate of Review or a Certificate of Appropriateness application by the Cultural Heritage Board (CHB) prior to commencement of or receipt of necessary permits for maintenance, alterations, restoration rehabilitation, remodeling, addition, change of use, demolition, subdivision, or relocation of a designated or potentially eligible Cultural Heritage Site. This includes: additions, walls, fences, light fixtures, sidewalks, steps, solar collectors, roof changes, parking lots, trees or other associated features on the exterior of a property.

Please note that the issuance of the Certificate of Appropriateness (COA) or the Certificate of Review (COR) is not a permit to construct, remodel, or demolish. Rather, the COA/COR is an authorization issued by the CHB (or support staff) in accordance with criteria adopted by the CHB. This criteria indicate that those actions listed above will not adversely affect the designated Cultural Heritage Site's values or unduly compromise the eligibility of a potential site to become a designated Cultural Heritage Site. After approval of the COA/COR, the applicant is responsible for obtaining all required building or planning permits from the appropriate jurisdiction.

Please Print or Type

A. Applicant/Contact Person		B. Property Owner (If multiple owners, attach additional sheets as necessary)	
Name: SAUL VIGIL	Name: PHILLIP GRAF	Name: PHILLIP GRAF	Name: PHILLIP GRAF
Address: P.O. BOX 1281	Address: 444 S. "F" STREET	Address: 444 S. "F" STREET	Address: 444 S. "F" STREET
City/ Zip: OXNARD, CA 93032	City/ Zip: OXNARD, CA 93030	City/ Zip: OXNARD, CA 93030	City/ Zip: OXNARD, CA 93030
Phone: (805) 479-4974	Phone: (805) 816-1042	Phone: (805) 816-1042	Phone: (805) 816-1042
Email: svigildesign@gmail.com	Email: philgraf@globaljustice.com	Email: philgraf@globaljustice.com	Email: philgraf@globaljustice.com
C. Site Information		D. Landmark/District/Point of Interest/Site of Merit and Historic Resources Survey (if applicable)	
Property Address: 444 S. "F" STREET OXNARD, CA. 93030	Historic Designation and No.:	Historic Designation and No.:	Historic Designation and No.:

Community or City/ Zip: CITY OF OXNARD	Local <input type="checkbox"/> State <input type="checkbox"/> National <input type="checkbox"/>
Assessor's Parcel Number(s): 202-0-075-090	Date of Designation:
Historic Name: / HENRY T OXNARD	Survey Name and Date:
Mills Act Contract: <input type="checkbox"/> Yes <input type="checkbox"/> No	National Register Status Code:

E. Project Description/Proposed Improvements in Detail:

**NEW SIDING TO REAR GUEST HOUSE / RE-ROOF WITH ASPHALT SHINGLES
(N) 400 S.F. 2 CAR GARAGE.**


F. Reason for Proposed Changes:

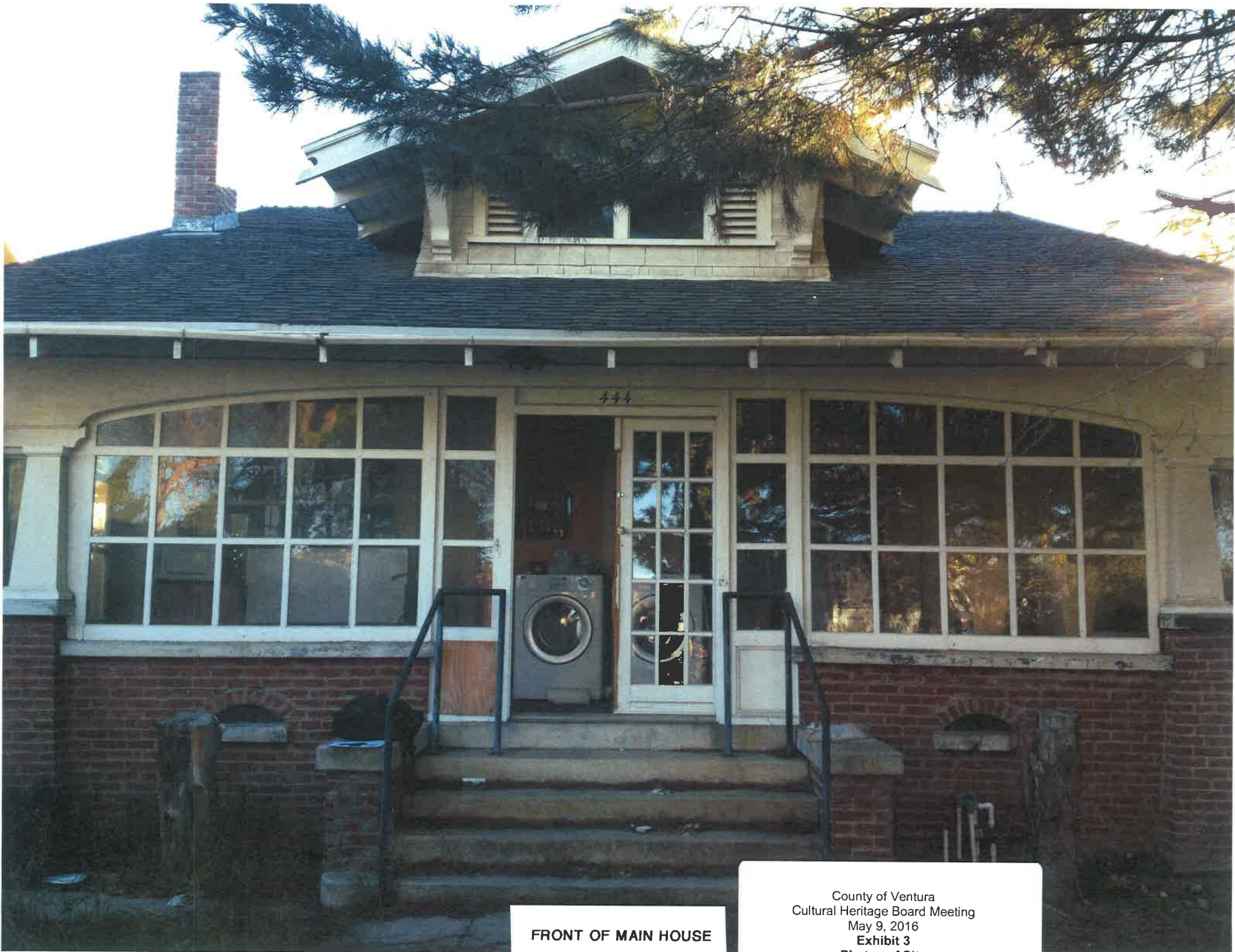
**DETERIORING EXISTING SIDING WAS DAMAGED BEYOND THE
POINT TO RESTORING TO ORIGINAL CONDITION.**

G. Submittal and Fee Requirements:

Attach Checklist for Filing COA (see next page)

H. Signature(s):

Applicant: 	Date:
Property Owner (required if different from applicant):	Date:



FRONT OF MAIN HOUSE

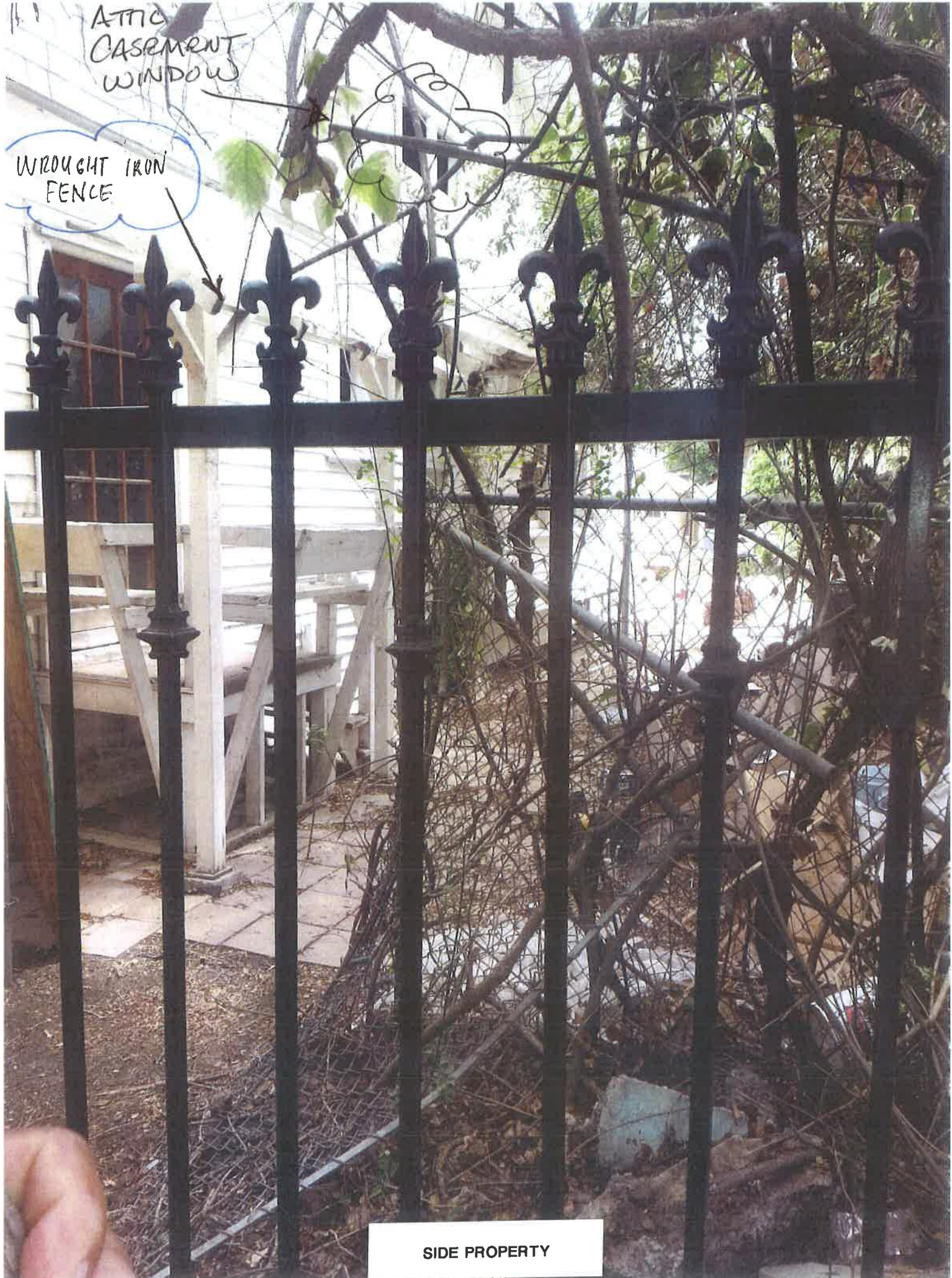
County of Ventura
Cultural Heritage Board Meeting
May 9, 2016
Exhibit 3
Photos of Site



REAR OF MAIN HOUSE

ATTIC
CASEMENT
WINDOW

WROUGHT IRON
FENCE



SIDE PROPERTY



1-CAR GARAGE - TO BE REMOVED

GUEST HOUSE

GUEST HOUSE

1 - GAR GARAGE
(REMOVE)

PUBLIC ALLEY.

5

GUEST
HOUSE

1 CAR - GARAGE

(REMOVE)



SAMPLE DETAIL OF GARAGE DOOR
PROPOSED





EXISTING CASEMENT WINDOW AT ATTIC



EXISTING CASEMENT WINDOW AT ATTIC



FRONT ATTIC WINDOWS



REBUILT GARAGE



PROPOSED REAR WROUGHT IRON FENCE/GATE

CULTURAL HERITAGE BOARD PROGRAM PRIORITIES
Agenda of May 9, 2016– Item 6.

TASK No.	PRIORITY LEVEL (High, Low, Medium)	PROPOSED TIMELINE (where applicable)	PROPOSED TASKS	NOTES	Action Taken
1	HIGH	2016	Finalize a process to review demolition requests for properties/structures over 50 years old that are not designated Cultural Heritage Sites but are potentially significant.	Deliverable: Updated Zoning Clearance Application Instructions. Completion requires consultation with County Counsel and Planning Managers. More research to determine definitions and criteria to be integrated.	Current Process – Counter staff contacts CHB staff for review and assessment to determine whether a COA is required.
2	HIGH	2016	Revise/Update the 2009-1.1 CHB Resolution with criteria to allow the use of substitute materials when repairing, updating, or maintaining historic structures.	Expand the 2009-1.1 list of improvements that can be processed by staff or determined exempt. Additionally, develop criteria to allow the use of certain substitute materials when appropriate. As old materials become increasingly difficult to obtain and more new materials are developed, there is a great tendency to request the use of substitute materials in repairing historic structures. These substitutions are often allowed, within certain parameters such as allowing substitution on parts of the building that are not visible from public view. Deliverable: Incorporate revisions into Resolution 2009-1.1.	

CULTURAL HERITAGE BOARD PROGRAM PRIORITIES
Agenda of May 9, 2016– Item 6.

TASK No.	PRIORITY LEVEL (High, Low, Medium)	PROPOSED TIMELINE (where applicable)	PROPOSED TASKS	NOTES	Action Taken
3	HIGH	2016	Train/clarify the role of the Cultural Heritage Board on their role to comment and review on discretionary projects that are not identified Cultural Heritage Sites or do not otherwise require a Certificate of Appropriateness [e.g. Certificates of Review (COR)].	Materials are being drafted that will be presented to CHB members as part of the training planned for fall 2016.	A simple flowchart is in draft form illustrating Board review of a CEQA discretionary projects and administrative and CHB reviewed CORs.
4	HIGH	2016	Assess and document proposed revisions to the Cultural Heritage Ordinance with CHB and County Counsel.	Study Session to be scheduled at a CHB meeting to document proposed revisions to the Cultural Heritage Ordinance. Note: Any proposed revisions will ultimately be forwarded as recommendations to the Board of Supervisors.	
5	HIGH	On-going	Provide cross training to Planning staff on Historic Preservation Standards and Guidelines, the Cultural Heritage Ordinance, application procedures, permitting procedures, Section 106 review and all areas related to the day-to-	In addition to cross-training within the Planning Division, training for Planning staff at the City of Oxnard has also been requested.	Franca Rosengren was identified to be cross-trained on CHB permits, hearings, and program-related activities. She serves as staff to the CHB in CHB staff's absence.

CULTURAL HERITAGE BOARD PROGRAM PRIORITIES
Agenda of May 9, 2016– Item 6.

TASK No.	PRIORITY LEVEL (High, Low, Medium)	PROPOSED TIMELINE (where applicable)	PROPOSED TASKS	NOTES	Action Taken
			day running of the Cultural Heritage Program.		Day to day training will continue. An offer to provide training for their staff has been extended to the City of Oxnard on multiple occasions.
6	HIGH	On-going	Satisfy annual Certified Local Government (CLG) goals and objectives.	Examples: Perform responsibilities delegated to the CLG by the State, satisfy member training and reporting requirements, and receive technical assistance from SHPO,	
7	MEDIUM	2016-2017	Revise the CHB Bylaws to reflect current practices.	Proposed revisions to be reviewed and approved by the CHB. The Bylaws should clarify the issue of CHB subcommittees in regard to the Brown Act and the issue of communication with applicants or architects for projects that will come before the CHB. Site visits prior to a hearing to view a site should also be covered.	

CULTURAL HERITAGE BOARD PROGRAM PRIORITIES
Agenda of May 9, 2016– Item 6.

TASK No.	PRIORITY LEVEL (High, Low, Medium)	PROPOSED TIMELINE (where applicable)	PROPOSED TASKS	NOTES	Action Taken
8	MEDIUM	Completed June 2015	Explore revisions to Mills Act Contract language		<p>The most recent Mills Act Contract incorporated language to require a new 10 year rehabilitation list for every ten year period. This was approved by the CHB and Board of Supervisors</p> <p>Mills Act Contract language was revised to allow modifications to the 10 year rehabilitation schedule with the approval of the CHB or County Planning Director, with review by County Counsel.</p>
9	MEDIUM	Completed May 2015	Walking tour of Saticoy for the CHB and consultants' presentation before the CHB	Saticoy tour completed by the CHB on May 4, 2015.	

CULTURAL HERITAGE BOARD PROGRAM PRIORITIES
Agenda of May 9, 2016– Item 6.

TASK No.	PRIORITY LEVEL (High, Low, Medium)	PROPOSED TIMELINE (where applicable)	PROPOSED TASKS	NOTES	Action Taken
			regarding Saticoy Historic Context & Reconnaissance Survey (SHCRS)		
10	N/A	On-going	Request by CHB members to Record a Notice of Historical Resources Designation on any new Sites of Merit that have been identified by new historic resource surveys or on existing Sites of Merit where a new resource report substantiates its integrity.	<p>The County Planning Division cannot record notices without notifying the current property owners. The age of the surveys makes this difficult, because the information obtained in the 1980s and 90s likely does not reflect today's condition and circumstances for individual structures. Staff proposes to continue the current process of requiring the owner of surveyed buildings to provide further study when significant alterations are proposed.</p> <p>In addition, property owners will be notified and notices recorded where new Sites of Merit or Landmarks are identified in new historic surveys.</p>	<p>On-going. The designation of Potential Sites of Merit identified in the SHCRS is scheduled for CHB consideration in May 2016.</p> <p>The Eastern Oxnard Plain Potential Sites of Merit is scheduled for CHB consideration in summer of 2016.</p>
11	MEDIUM	On-going	Satisfy goals from the County's approved Historic Preservation Plan.	Examples: Updating the existing surveys, promoting preservation through new brochures, tours and events.	Preparation of the Eastern Oxnard Plain Survey was completed in 2014

CULTURAL HERITAGE BOARD PROGRAM PRIORITIES
Agenda of May 9, 2016– Item 6.

TASK No.	PRIORITY LEVEL (High, Low, Medium)	PROPOSED TIMELINE (where applicable)	PROPOSED TASKS	NOTES	Action Taken
					to satisfy recommendations contained in the HPP. Additionally, the COA brochure has been translated to Spanish and will be made available on the Cultural Heritage Program website in Spring 2016.
12	MEDIUM	Completed Spring 2016	Continue to expand the breadth of online historical data available to the public on the Planning Division website.	<p>This includes adding items such as GIS maps, scanned DPR forms, new historic surveys, and historic photographs.</p> <p>A request was approved in the Planning Division budget for the current fiscal year to allow approximately 400 slides/negatives taken of the County Landmarks in 1989 to be scanned. The 25 year old photographs will be made available to the Planning staff for research purposes.</p>	<p>Completed.</p> <p>The 400+ landmark slides & negatives are scanned.. Where feasible, these photos will be added to the Landmark interactive feature on the Cultural Heritage Program webpage.</p>

CULTURAL HERITAGE BOARD PROGRAM PRIORITIES
Agenda of May 9, 2016– Item 6.

TASK No.	PRIORITY LEVEL (High, Low, Medium)	PROPOSED TIMELINE (where applicable)	PROPOSED TASKS	NOTES	Action Taken
13	MEDIUM	2016-17	Create a set of Policies and Procedures for the CHB program	To provide clear procedures that enable consistent and thorough processing of COA, CORs and deviations; for designating Cultural Heritage Sites and establishing Mills Act Contracts.	In process
14	MEDIUM	On-going	Mills Act Program Inspections	Annual inspection of the six unincorporated area contracts and the seven City of Oxnard contracts.	In process.
15	MEDIUM	Completed summer 2015	Create Ventura County Fair brochure and display.		3-fold brochure completed and printed.
16	LOW	Unknown	De-list County Landmarks and Sites of Merit <i>within unincorporated areas</i> that no longer exist or do not meet established integrity standards.	Dependent on staffing and cost. Preparation of environmental documents would be required prior to de-listing unless there is conclusive evidence that integrity is lost. Staff estimates there are approximately 12 County landmarks eligible for de-listing. County staff to work with property owners to provide options for landmark compliance, where minor changes would be sufficient and feasible to maintain the landmark status.	

CULTURAL HERITAGE BOARD PROGRAM PRIORITIES
Agenda of May 9, 2016– Item 6.

TASK No.	PRIORITY LEVEL (High, Low, Medium)	PROPOSED TIMELINE (where applicable)	PROPOSED TASKS	NOTES	Action Taken
				If a Landmark or Site of Merit is modified and a historic resource report (reviewed and approved by CHB) provides evidence, then the CHB would approve the de-listing.	
17	LOW	To be scheduled when the City of Oxnard notifies CHB staff of the development of the master plan	Tour of the Maulhardt property for the CHB.	The Master Plan for this site is on hold with the City of Oxnard. A tour will be scheduled prior to review by the CHB.	City staff will inform CHB staff when the master plan moves forward.
18	LOW	2017-2018	Create an architectural design guide handout similar to the one used by Rehab Riverside Right for the Oxnard Historic District.	When a Planning Intern is available with desktop publishing skills, photos of the applicable District architectural styles can be taken and text revised and adapted to fit the context of the Oxnard Historic District. This brochure could be handed out at the City of Oxnard public counter and would be available on the CHB webpage.	

CULTURAL HERITAGE BOARD PROGRAM PRIORITIES
Agenda of May 9, 2016– Item 6.

TASK No.	PRIORITY LEVEL (High, Low, Medium)	PROPOSED TIMELINE (where applicable)	PROPOSED TASKS	NOTES	Action Taken
19	LOW	To be scheduled when the County initiates and update to the ISAGs.	Assess and document needed revisions to the County Initial Study Assessment Guidelines (ISAG) related to historic preservation.	Revisions to the County ISAGs require Board of Supervisors approval. As such, this would be coordinated during a comprehensive ISAG update. It would not be a stand-alone update.	