



CHANNEL ISLANDS HARBOR
Ventura County Harbor Department

Lyn Krieger
Director

3900 Pelican Way • Oxnard, CA 93035-4367 • (805) 382-3001 • Fax (805) 382-3015

June 17, 2013

Ms. Melissa Ahrens, Coastal Analyst
CALIFORNIA COASTAL COMMISSION
South Central Coast Area Office
89 So. California Street, Suite 200
Ventura, CA 93001

SUBJECT: REVISED NOTICE OF IMPENDING DEVELOPMENT – Replacement of Channel Islands Harbor Administration Building, 3900 Pelican Way, Oxnard, California

Dear Ms. Ahrens:

Pursuant to Public Resources Code §30606 and California Coastal Commission Regulations §§ 13358 and 13359, this letter provides Notice of Impending Development (NOID) for the **replacement of the Channel Islands Harbor Administration Office located at 3900 Pelican Way, Oxnard, California**. Such notice must be submitted prior to commencement of development by the public agency proposing a project pursuant to an adopted Public Works Plan. In this case, an amendment to the Public Works Plan has been submitted to allow the reconstruction of the building. This Notice provides a description of the proposed project as well as a showing of consistency with the PWP. The original NOID was submitted on October 14, 2010.

In addition, Coastal Act §30605 makes clear that Coastal Commission review of the NOID (if the Public Works Plan Amendment is approved) is limited to imposing conditions consistent with Section 30607 and 30607.1. Section 30607.1 and is restricted only to consideration of dike and fill impacts to wetlands. No wetlands exist on the project site; therefore, this section does not apply to the proposed project.

Existing Condition

The following images from Google Earth are used to show the location and orientation of the administration building site and lay out.



The County of Ventura Harbor Department Administration Building is located on a 21,623 square foot site at the southwest corner of South Victoria Avenue and Pelican

Way just north of the Coast Guard building in Channel Islands Harbor. It is currently divided into two sections: the front building (toward the water) contains Harbor Patrol services, the Harbor Director and administration. The second building contains financing and leasing. There is a patio between the two buildings that serves as a visitor waiting and employee lunch/break area. There are also two maintenance/shop facilities on the property, and a trailer that is used as a conference room. On-site development footprint is 7,825 square feet. A paved parking lot serving the building is located on the east end of the site and contains 15 parking spaces.

The site contains very little landscaping of note. There are several pine trees along the parking lot perimeter that have been trimmed over the years and are not in specimen condition. There are also non-native shrubs such as Hollywood Junipers along the east and north site perimeter. Three Mexican Fan palms are also located on the north side of the site. These palms will be retained in place or replanted on-site. The patio area contains one small Melaluca tree.

The buildings are constructed of concrete block and wood with flat roofs. They are approximately 50 years old and in poor condition. No air conditioning is provided and only the smaller building has heat.. During rainy weather the buildings leak due to improper foundations, in spite of repairs. There is extremely limited storage area, no break areas for employees, and no location for shift employees to eat meals, store food, or wash up.



North elevation of Harbor Patrol building from center of Pelican Way. These three Mexican Fan Palms will be retained or replanted onsite.



North elevation of patio entrance and eastern building from center of Pelican Way. This photograph also shows the Hollywood Juniper shrubs that will be removed during construction.



Parking lot from Pelican Way. This photo shows the pine trees that will be removed during construction.



South elevation from gangway.

The site also provides access to the Harbor Patrol dock located just south of the building. No changes to the dock or the gangway are proposed.

Project Description

The County of Ventura proposes to replace its existing Harbor Administration Building with a new facility designed to fit the needs of its current operations and provide a safe and efficient environment for Harbor staff and the public. The proposed new building is a partial two-story, 8,988 square feet in size. The replacement building will be built in the same location as the existing. The building layout will accommodate the Harbor Patrol function in the current location at the southwest corner. This will maximize Patrol access to the administration dock. Also accommodated in the building will be the Harbor Department finance, leasing, planning, and management functions. The new building will provide adequate file storage for the department, as well as conference rooms, shower and locker facilities for the Patrol staff, and a break area for all Harbor staff. A waiting area for the public and public restrooms built for handicapped accessibility will be provided.

The exterior of the replacement building is designed to fit into the surrounding eclectic building styles. It has been designed with a flat roof to maximize usable space within the height limitation of the Public Works Plan.

The parking area will remain in the same location and configuration as currently exists, with slight modifications in the angle of the parking stalls. The parking will increase from 15 spaces to 24 spaces. Existing landscaping will be replaced and the area will absorb

storm water runoff collection where possible. New plant material will include native or drought tolerant species appropriate to the salt and wind environment.

Public Works Plan

The County Public Works Plan (PWP) designates this site as Visitor Serving Boating. Appendix A, the Inventory of Existing Uses/Intensities by Parcel (Table 1) does not assign a lease parcel letter to the site, but designates it for a 5,500 square foot Harbor Administration Building. The existing building, that was in place when the PWP was adopted, is larger in size than the 5,500 square feet designated in Table 1.

On March 5, 2013, the Ventura County Board of Supervisors approved an amendment to the Channel Islands Harbor Public Works Plan. The Amendment would change Table 1 in the Appendix to allow the area for the Administration Building to expand from the 5,500 square foot size to 9,000 square feet. The Public Works Plan Amendment is submitted to the Coastal Commission for approval with this NOID and is expected to be heard concurrently.

The Land Use Map shows a public walkway along the water in a north/south direction terminating at this site, and shows a water access point. The Harbor Patrol operations, leasing activities and other administrative functions serve the users and Lessees in the Harbor. Maintaining the use in this location is appropriate in the Visitor Serving Boating designation. The PWP has, from its adoption, recognized the administrative offices in this location, and it is appropriate that this use continue.

Policy 1 under section 3.0 Coastal Issues and Development Policies of the PWP states: "Any expansion of the existing and permitted structures described in Appendix A shall be prohibited except for minor alterations which result in an increase of less than 10 percent of the internal floor area or an increase of 10% in height of the structure." The building has been designed to be under the 9,000 square foot maximum size proposed in the PWP Amendment submitted with this NOID. The building height is 27 feet 6 inches, which meets the 10% increase allowed by Policy 1 of the PWP. Upon approval of the PWP Amendment that accompanies this NOID, the proposed replacement building will be consistent with the Administration Building provided for in Table 1 as well as existing PWP policies.

Public Access

The development will include public sidewalks along Victoria Avenue, Pelican Way and along the waterfront to the Harbor Patrol Dock. The new administration building will also provide a conference room that will be available for meetings with the public. These are consistent with the public access policies of the PWP.

Parking

The proposal includes 24 parking spaces where 15 now exist on-site. This is one space per 375 square feet of floor area including storage space. This is ample parking for the administration facility as the existing parking lot with 15 spaces is rarely, if ever, filled to

capacity. There are also public parking spaces available on the street in the Pelican Way cul-de-sac adjacent to the existing Harbor Administration Building, as well as in the large parking lot to the north of the site that serves Cisco's Sportfishing. No additional employees are planned for the Harbor. Therefore additional employee parking would not be required.

Visual

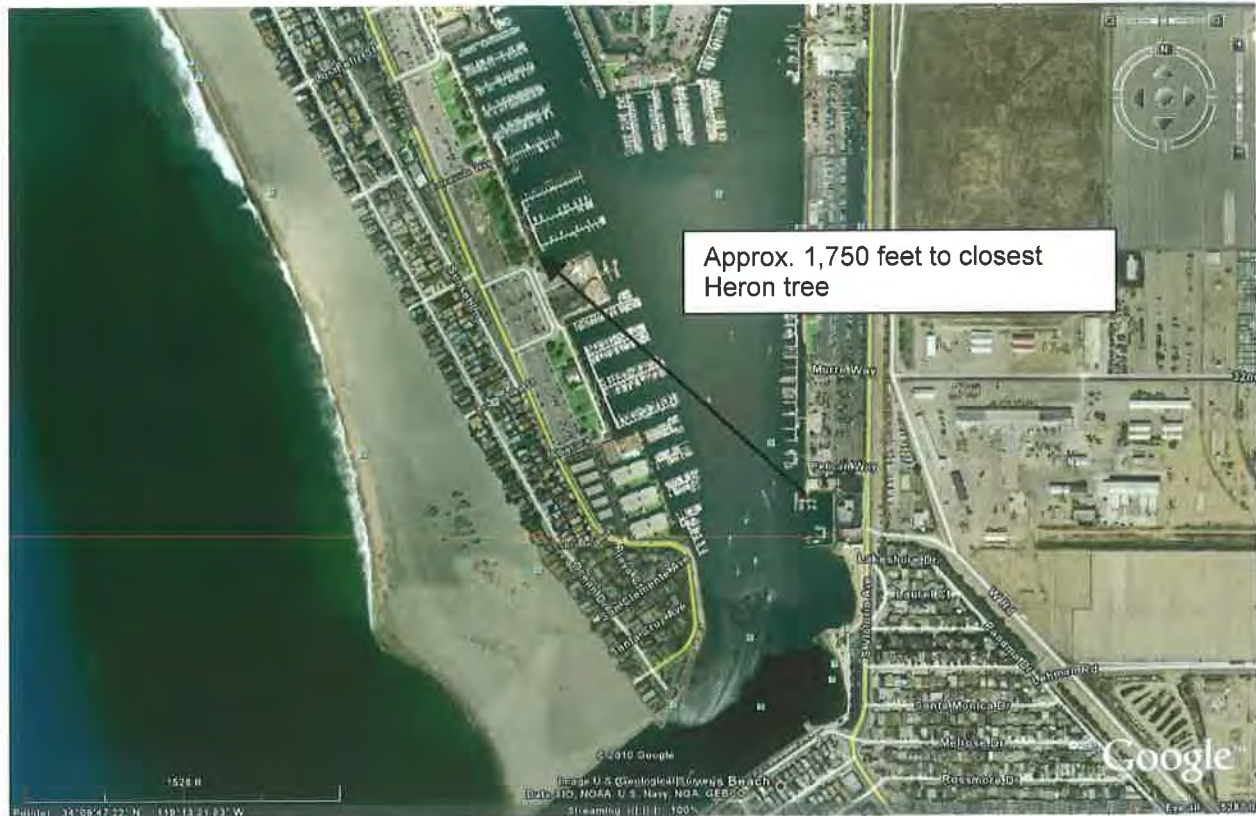
The PWP includes polices and a map that specify the visual corridors in the Harbor. Existing views around the Administration Building include those from the end of Pelican Way and those from the sidewalk along the water's edge. The additional height proposed with the replacement building will not interfere with any public views of the Harbor as the structure has approximately the same footprint as the existing building. The administration building does not interfere with any existing view corridor required by the PWP. Although slightly taller than the existing building, no public views of the Harbor will be impacted by the new building.

Water Quality

No disturbance to the Harbor waters is anticipated by this project. All water quality policies relating to landside construction have been included as conditions of this permit.

Heron Populations

No heron nests have been found within approximately 1,750 feet of the Harbor Administration Building. No impacts to the herons are anticipated by the construction of this building.



Tree Trimming and Removal

It is the intention of the County to protect, to the maximum extent possible, the existing trees in the Harbor and to ensure that no bird species are affected by the removal of any trees. The tree trimming policy contained within the PWP has been included as a condition of approval for this project.

City of Oxnard Local Coastal Plan and Coastal Zone

The Channel Islands Harbor land area is within the city limits of the City of Oxnard. The California Coastal Commission approved the City's Local Coastal Plan in 1986. The City's LCP designates the project site as existing visitor serving commercial (Oxnard LCP pg. 14). The City's Coastal Zoning Ordinance designates the site as Harbor Channel Islands (Sec. 17-24.), which provides for uses appropriate to a recreational harbor. The proposed building will serve support staff for the administration of Harbor activities and the Harbor Patrol that sustain the Harbor's visitor serving commercial uses and is therefore consistent with the City of Oxnard LCP and Zone District.

Construction Staging

The Harbor administrative function will relocate to another building within the Harbor during the construction period. A trailer will be placed at the end of the Pelican Way cul-de-sac for use by the Harbor Patrol during building construction. Staging will occur within the parking lot of the existing project site, or by arrangement in the adjacent

public parking lot to the north, if necessary. Staging will not interfere with the public's access to Pelican Way or the public parking to the north of the project site.

Project Scheduling

In order to commence this project, the NOID must have been reviewed and approved by the Coastal Commission. From the date of submittal to the Commission, it is hoped that a hearing could be held within 90 days. It is the intention of the County of Ventura to begin construction as soon as possible.

Environmental Review

The Harbor Department has determined that the proposed project qualifies as Categorically Exempt from the California Environmental Quality Act (CEQA) as a Class 3 exemption, new conversion or construction of small structures (CEQA Guidelines Sec. 15303) as the replacement structure will be less than 10,00 square feet in size and Class 32, in-fill development project (CEQA Guidelines Sec. 15332) as the replacement structure will be located on a currently developed site surrounded by the developed Harbor within the City of Oxnard. A Notice of Exemption has been prepared and will be filed upon approval of this NOID by the Coastal Commission. However, an Evaluation of Environmental Effects has been prepared and submitted with the Public Works Plan Amendment that further evaluates the potential environmental impacts of the project.

Notification

Pursuant to Coastal Act §30606, the Harbor Department is notifying, through provision of a notice, the Coastal Commission as well as other interested persons, organizations, and governmental agencies of the impending development. A list has been provided of all persons and organizations receiving a copy of this notice, including all residents within 300 feet of the project (See attached).

Findings

1. The Harbor Administration Building is designated as a permitted use in the Channel Islands Harbor Public Works Plan and replacement of the building with the same use is consistent with the PWP as amended by the Ventura County Board of Supervisors on March 5, 2013. Approval and certification of this amendment by the California Coastal Commission will be required prior to approval of this NOID for the Harbor Administration Building.
2. Public access to the Harbor will not be impeded during construction or after completion of the replacement Harbor Administration Building.
3. No visual resources will be affected by the construction of the replacement Administration Building and this NOID is consistent with all visual resource policies of the PWP.
4. Parking will be provided onsite for the replacement Administration Building at a ratio of 1 parking space for every approximately 375 square feet of building area, which is ample parking for this use and is consistent with the PWP as related to parking resources.

5. All water quality policies of the PWP will be implemented as a part of this NOID.
6. All PWP policies relating to heron populations within the Harbor will be implemented as a part of the NOID.
7. All policies relating to tree trimming and removal within the PWP will be implemented as a part of this NOID.
8. The replacement of the Harbor Administration building is Categorically Exempt from the California Environmental Quality Act as a Class 3 exemption, new conversion or construction of small structures (CEQA Guidelines Sec. 15303), and Class 32, in-fill development project (CEQA Guidelines Sec. 15332). A Notice of Exemption has been prepared and will be filed upon California Coastal Commission approval of this NOID.
9. The replacement of the Harbor Administration Building complies with the PWP, as described in the above NOID document and the attached conditions.
10. The replacement of the Harbor Administration Building is in compliance with the City of Oxnard LCP and implementing ordinances as described in this NOID and including the attached conditions.


Conditions of Approval

The County of Ventura has applied conditions of approval to the Harbor Administration Building replacement and associated improvements in order to further insure compliance with the Coastal Act, the Public Works Plan, City of Oxnard standards including the Uniform Building Code, and other Channel Islands Harbor policies that may apply. These conditions are included as set forth in this document.

Conclusion

In conclusion, the approved project is in compliance with the certified PWP as well as consistent with the purpose of the Coastal Act by furthering boating opportunities and visitor serving commercial uses. Please let us know if any additional information or materials are needed to assist with your review.

Sincerely,



Lyn Krieger
Director

Enclosures: Topographic survey with existing conditions
Proposed site plan
Proposed floor plan
Proposed Exterior Elevations
Copy of Notice Mailed to Interested Parties
Photo of Notice posted onsite
List of Interested Parties receiving notice.

c: Board of Supervisors
County Counsel

**County of Ventura Conditions of Approval
Replacement of Channel Islands Harbor Administration Building,
3900 Pelican Way, Oxnard, California**

1. Prior to obtaining a building permit or grading permit, the Harbor Department will review all construction drawings and insure their compliance with this NOID.
2. No materials classified as flammable, combustible, radioactive, carcinogenic or otherwise potentially hazardous to human health shall be handled, stored or used on the project property, except as provided by a permit issued by the City of Oxnard Fire Department.
3. Landscaping and irrigation plans shall show proper water meter size, backflow prevention devices and cross-connection control. All irrigation systems shall be designed to be low water using and shall include automatic rain shut-off and water sensor shut off devices as water conservation measures.
4. All trees planted or placed on the property by the contractor shall be at least 24-inch-box size. All shrubs and vines shall be at least five-gallon size, except as otherwise approved on the landscape plans.
5. All vehicle access driveways shall be constructed to meet Fire Department conditions. All curbs adjacent to designated fire lanes shall be painted to prohibit parking or stopping in accordance with the California Vehicle Code.
6. All roof covering materials shall be of non-combustible or fire retardant materials as approved by the City of Oxnard Fire Department.
7. All Fire Department approvals to ensure access and the availability of water for fire combat operations to all areas of the project shall be obtained prior to final occupancy.
8. A lighting plan shall be prepared showing type of fixtures, heights, and intensity of illumination. Lighting fixtures shall be cut-off type fixtures that divert lighting downward onto the property and shall not cast light onto adjacent properties, roadways or waterways. Under canopy lighting shall be concealed or recessed so as to not be directly visible from the street.
9. All trucks hauling graded or excavated material offsite, if any, shall be required to cover their loads as required by the California Vehicle Code Sec. 23114, with special attention to preventing spilling onto public streets.
10. All graded and excavated material, exposed soils areas, and active portions of the construction site, including unpaved onsite roadways, shall be treated to prevent fugitive dust. Treatment shall include, but not necessarily be limited to, periodic watering, application of environmentally safe soil stabilization materials, and/or roll-compaction as appropriate. Watering shall be done as often as necessary and reclaimed water shall be used whenever possible.
11. Harbor contractors shall ensure that all construction equipment is maintained and tuned to meet applicable Environmental Protection Agency (EPA) and California Air Resources Board (CARB) emission requirements. At such time as new emission control devices or operational modifications are found to be

- effective, contractor shall immediately implement such devices or operational modifications on all construction equipment.
12. Harbor contractors shall minimize the number of vehicles and equipment operating on site at the same time.
 13. At all times during construction activities, Harbor contractors shall minimize the area disturbed by clearing, grading, earth moving, or excavation operations to prevent excessive amounts of dust.
 14. During periods of high winds (i.e. wind speed sufficient to cause fugitive dust to impact adjacent properties), Harbor contractors shall cease all clearing, grading, earth moving, and excavation operations to prevent fugitive dust from being a nuisance or creating a hazard, either onsite or offsite.
 15. Throughout construction, Harbor contractors shall sweep adjacent streets and roads at least once per day, preferably at the end of the day, so that any visible soil material and debris from the construction site is removed from the adjacent roadways.
 16. Harbor contractors shall employ current Best Management Practices to protect against storm water runoff into storm drains and the harbor.
 17. Construction staging areas shall be screened and protected to avoid material being blown or washed into the harbor. Screening material shall be approved by the Harbor Department. Harbor contractors shall limit outdoor storage of materials to the locations shown and all construction material shall be stored within the staging area. Construction staging area shall remain locked and secure when not in use.
 18. Hours of construction shall be limited to 7:00 a.m. to 7:00 p.m., Monday through Saturday, and not allowed on Sunday or holidays without prior approval of the Harbor Department.
 19. Signage shall be provided to notify the public when access to public sidewalk will be blocked because of construction. Signage will indicate alternate routes.
 20. All roof heating and cooling systems, and other exterior mechanical equipment, shall be screened from view from adjoining properties, waterways or public streets. Plumbing vents, ducts, and other appurtenances protruding from the roof of structure shall be placed so that they will not be visible from the front of the property, from waterways, or other vantage points. Roof vents shall be painted to match the roof material color.
 21. Exterior utility meter panels shall be painted to match the structure upon which it is located. Such panels shall be located to take advantage of screening (e.g., landscaping or other building elements) from public views, to the maximum extent feasible.
 22. Adequate trash facilities and pick ups shall be provided to maintain the site free of debris, food waste, and to minimize scavenger birds.
 23. The County of Ventura Harbor Department shall comply with all requirements of PWP policy 14, Trimming or Removal of Trees, during demolition and construction of the replacement Administration Building.
 24. The County of Ventura Harbor Department and its contractors shall comply with all Water Quality Policies contained within the PWP as follows:

- a. Project shall be designed to prohibit the discharge of pollutants that would cause or contribute to receiving water impairment or exceedances of state water quality standards.
- b. Water Quality Management Plan – Project shall include a Water Quality Management Plan (WQMP), prepared by a licensed water quality professional, and shall include plans, descriptions, and supporting calculations. The WQMP shall incorporate structural and non-structural Best Management Practices (BMPs) designed to reduce, to the maximum extent practicable, the volume, velocity and pollutant load of stormwater and dry weather flows leaving the development site. In addition to the specifications above, the plan shall be in substantial conformance with the following requirements:
 - i. The proposed development shall reduce or maintain pre-development peak runoff rates and average volumes to the maximum extent practicable.
 - ii. Appropriate structural and non-structural BMPs (site design, source control and treatment control) shall be designed and implemented to minimize water quality impacts to surrounding coastal waters. Structural Treatment Control BMPs shall be implemented when a combination of Site Design and Source Control BMPs are not sufficient to protect water quality.
 - iii. Impervious surfaces, especially directly connected impervious areas, shall be minimized, and alternative types of pervious pavement shall be used where feasible.
 - iv. Irrigation and the use of fertilizers and other landscape chemicals shall be minimized.
 - v. Trash, recycling and other waste containers, as necessary, shall be provided. All waste containers anywhere within the development shall be covered, watertight, and designed to resist scavenging animals.
 - vi. Runoff from all roofs, roads and parking areas shall be collected and directed through a system of structural BMPs including vegetated areas and/or gravel filter strips or other vegetated or media filter devices. The system of BMPs shall be designed to: 1) trap sediment, particulates and other solids; and 2) remove or mitigate contaminants (including trash, debris and vehicular fluids such as oil, grease, heavy metals and hydrocarbons) through infiltration, filtration, and/or biological uptake. The drainage system shall also be designed to convey and discharge runoff from the developed site in a non-erosive manner.
 - vii. Parking lots and streets shall be swept on a weekly basis, at a minimum, in order to prevent dispersal of pollutants that might collect on those surfaces, and shall not be sprayed or washed down unless the water used is directed through the sanitary sewer system or a filtered drain.
 - viii. The detergents and cleaning components used on site shall comply with the following criteria: they shall be phosphate-free, biodegradable, and non-toxic to marine wildlife; amounts used shall

- be minimized to the maximum extent practicable; no fluids containing ammonia, sodium hypochlorite, chlorinated solvents, petroleum distillates, or lye shall be used.
- ix. Post-construction structural BMPs (or suites of BMPs) shall be designed to treat, infiltrate or filter the amount of stormwater runoff produced by all storms up to and including the 85th percentile, 24-hour storm event for volume-based BMPs, and/or the 85th percentile, 1-hour storm event, with an appropriate safety factor (i.e., 2 or greater), for flow-based BMPs.
 - x. All BMPs shall be operated, monitored, and maintained for the life of the project and at a minimum, all structural BMPs shall be inspected, cleaned out, and where necessary, repaired at the following minimum frequencies: 1) prior to October 15th each year; 2) during each month between October 15th and April 15th of each year; and 3) at least twice during the dry season.
 - xi. Debris and other water pollutants removed from structural BMPs during clean-out shall be contained and disposed of in a proper manner.
 - xii. The Harbor Department shall maintain the drainage system and associated structures and BMPs according to manufacturer's specifications.
25. The project shall be designed to minimize erosion, sedimentation and other pollutants in runoff from construction-related activities to the maximum extent practicable. Development or redevelopment shall minimize land disturbance activities during construction (e.g., clearing, grading and cut-and-fill), especially in erosive areas (including steep slopes, unstable areas and erosive soils), to minimize the impacts on water quality.
26. Construction and Maintenance Responsibilities and Debris Removal –The project shall include the following construction-related requirements:
- a. No demolition or construction materials, debris or waste shall be placed or stored where it may enter sensitive habitat, receiving waters or a storm drain, or be subject to wave, wind, rain or tidal erosion and dispersion.
 - b. No demolition or construction equipment, materials, or activity shall be placed in or occur in any location that would result in impacts to ESHA, wetlands or their buffers.
 - c. Any and all debris resulting from demolition or construction activities shall be removed from the project site within 24 hours of completion of the project.
 - d. Demolition or construction debris and sediment shall be removed from work areas each day that demolition or construction occurs to prevent the accumulation of sediment and other debris that may be discharged into coastal waters.
 - e. All trash and debris shall be disposed of in the proper trash and recycling receptacles at the end of every construction day.
 - f. The applicant shall provide adequate disposal facilities for solid waste, including excess concrete, produced during demolition or construction.
 - g. Debris shall be disposed of at a legal disposal site or recycled at a recycling facility. If the disposal site is located within the coastal zone, a

separate Notice of Impending Development shall be required before disposal shall take place.

- h. All stock piles and construction materials shall be covered, enclosed on all sides, shall be located as far away as possible from drain inlets and any waterway, and shall not be stored in contact with the soil.
- i. Machinery and equipment shall be maintained and washed in confined areas specifically designed to control runoff. Thinners or solvents shall not be discharged into sanitary or storm sewer systems.
- j. The discharge of any hazardous materials into any receiving waters shall be prohibited.
- k. Spill prevention and control measures shall be implemented to ensure the proper handling and storage of petroleum products and other construction materials. Measures shall include a designated fueling and vehicle maintenance area with appropriate berms and protection to prevent any spillage of gasoline or related petroleum or contact with runoff. The area shall be located as far away from the receiving waters and storm drain inlets as possible.
- l. Best Management Practices (BMPs) and Good Housekeeping Practices (GHPs) designed to prevent spillage and/or runoff of demolition or construction-related materials, and to contain sediment or contaminants associated with demolition or construction activity shall be implemented prior to onset of such activity.
- m. All BMPs shall be maintained in a functional condition throughout the duration of the project.



Channel Islands Harbor Department
3900 Pelican Way
Oxnard CA 93035-4367
805 382 3001
805 382 3015 FAX

REVISED NOTICE OF IMPENDING DEVELOPMENT
For
REPLACEMENT OF HARBOR DEPARTMENT
ADMINISTRATION BUILDING
3900 PELICAN WAY, OXNARD, CA 93035

Pursuant to Public Resources Code §30606 and California Coastal Commission Regulations §§ 13358 and 13359, this NOTICE is provided to Interested Parties of the intent of the Harbor Department to replace the Harbor Administrative Offices with a two-story office building. The Administrative Office Building is located at 3900 Pelican Way, Oxnard, CA 93035.

This NOTICE must be submitted prior to commencement of development by the public agency proposing a project pursuant to an adopted Public Works Plan. In this case, the DRAFT Channel Islands Harbor Public Works Plan (4TH Amendment) (PWP) is the PWP covering this project. This NOTICE is prepared consistent with the PWP. It is the intention to have the DRAFT 4th Amendment to the PWP and this NOID considered by the Coastal Commission at the soonest possible date.

In addition, Coastal Act §30605 makes clear that Coastal Commission review of the NOTICE is limited to imposing conditions consistent with Section 30607 and 30607.1.

A full and complete copy of the REVISED NOTICE OF IMPENDING DEVELOPMENT may be obtained at the Channel Islands Harbor Offices located at the above address. For further information please contact 805 382 3001.


Marilyn K. Miller
Planning Consultant

Date: 6/17/13

CIBCSO
353 Santa Monica Blvd.
Oxnard CA 93035

Les/Ellen Spiegel
297 Melrose Dr
Oxnard CA 93035

Vickie Finan
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Oxnard CA 93035

Lee Quaintance
Beacon Foundation
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Port Hueneme CA 93041

Kenneth Grim
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Oxnard CA 930351447

Jean Roundtree
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Oxnard CA 93035

Nancy Snooks
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Ventura CA 93004

Don/Paula Menzel
2121 Ocean Drive
Oxnard CA 930354435

Graham/Bella Galliford
2517 Ocean Dr
Oxnard CA 93035

Teresa Tharp
713 Ocean Dr
Oxnard CA 93035

Colleen Buckley
79 E. Daily Drive
Camarillo CA 93010

Davis Montgomery
3600 Harbor Blvd. Ste. 110
Oxnard CA 930354150

David/Carol Katz
3241 Ocean Dr
Oxnard CA 93035

Michael Cummings
816 Ocean Dr
Oxnard CA 93035

Jon Ziv
3365 Ocean Dr
Oxnard CA 93035

Roger Milligan
3661 Ocean Dr
Oxnard CA 93035

Dick Neugebauer
1001 Ocean Dr
Oxnard CA 93035

Michael Staitman
3501 Ocean Dr
Oxnard CA 93035

Lou O. Hearn
3401 Ocean Dr.
Oxnard CA 93035

Hadley Hendrick
3405 Ocean Dr
Oxnard CA 93035

Patrick M. Forrest
3317 Ocean Dr
Oxnard CA 93035

Paxton Duvall
3529 Ocean Dr
Oxnard CA 93035

Beth Thomas
901 Ocean Dr.
Oxnard CA 93035

Patti M. Grant
1616 Ocean Dr
Oxnard CA 93035

Cy Petersson
805 Ocean Dr.
Oxnard CA 93035

S Sahgal
4061 Ocean Dr.
Oxnard CA 93035

H Bagdadi
4101 Ocean Dr
Oxnard CA 93035

Tom Kennedy
3709 Ocean Dr
Oxnard CA 93035

Diane Sunderland
3728 Regal Vista Dr
Sherman Oaks CA 91403

Sand/Phil Bandos
3541 Ocean Dr.
Oxnard CA 93035

Mary Dodd
3801 Ocean Dr
Oxnard CA 93035

Sam Verity
813 Ocean Dr
Oxnard CA 93035

Carolyn Samuelson
3933 Ocean Dr
Oxnard CA 93035

Stan/Sharon Weiner
4117 Sunset
Oxnard CA 93035

Ernest Dragan
408 Ocean Dr
Oxnard CA 93035

K A Moore
277 Sunset
Oxnard CA 93035

Kathryn/Jim Estomo
4145 Sunset Lane
Oxnard CA 93035

Barry/Olga Lane
3841 Ocean Dr.
Oxnard CA 93035

Paul/Rita Tragertha
129 Bardsdale
Oxnard CA 93035

Steve Weiss
4137 Sunset
Oxnard CA 93035

Karen/Mike Mahr
4033 Sunset
Oxnard CA 93035

Kenny/Deanne Helderlew
252 Santa Monica
Oxnard CA 93035

Leslie/Tim Wawrzeniak
329 Santa Monica
Oxnard CA 93035

Adrienne Gould
3325 Harbor Blvd.
Oxnard CA 93035

Richard Hodge
140 Bardsdale
Oxnard CA 93035

Geraldine Furr
4121 W Channel Islands Blvd
Oxnard CA 93035

Steve Campbell
2010 N Fernwood Ct
Simi Valley CA 93065

Barbara Harison
214 Barnard Wy
Ventura CA 93001

Dan/Patty McInnes
4221 Romany Dr
Oxnard CA 93035

Jim Clement
2707 Licia Place
Simi Valley CA 93065

Lee Quaintance
140 Santa Monica Ave
Oxnard CA 93035

Jerry Reed
118 Encino Ave
Camarillo CA 93010

Bellport Anacapa Marine
Services
3202 S Victoria Ave
Oxnard CA 93035

Michael Koutnik
The Whale's Tail
3950 Bluefin Cir
Oxnard CA 93035

Robert Snyders
1706 Emerald Isle Wy
Oxnard CA 93035

Sally A Brewer
732 Sterling Hills Dr
Camarillo CA 93010

Vintage Marina
2950 Harbor Blvd
Oxnard CA 93035

Leroy Smith
County of Ventura
800 S Victoria Ave L#1830
Ventura CA 93009

Milan Svitek
15 Los Vientos Dr
Newbury Park CA 91320

Steve Bennett, Supervisor
Board of Supervisors, 1st District
800 S Victoria Ave L#1900
Ventura CA 93009

Bedford Pinkard
2047 Spyglass Trail E
Oxnard CA 93030

Randy Short
Anacapa Isle Marina
3001 Peninsula Rd
Oxnard CA 93035

Bruce MacDonald
3055 Shadowhills Cir
Thousand Oaks CA 91360

Steve Buenger
Marine Emporium
3600 S. Harbor Blvd
Oxnard CA 93035

Keith Moore
3031 W Fifth St
Oxnard CA 93030

Penny Boehm
1130 Capri
Oxnard CA 93035

Michael Powers
County of Ventura
800 S Victoria Ave L#1940
Ventura CA 93009

Linda Parks, Supervisor
Board of Supervisors, 2nd
District
625 West Hillcrest Dr
Thousand Oaks CA 91360

Marsha Marcus
4137 Ocean Dr
Oxnard CA 93035

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NOID – Replacement of Harbor Administration Building

June 17, 2013

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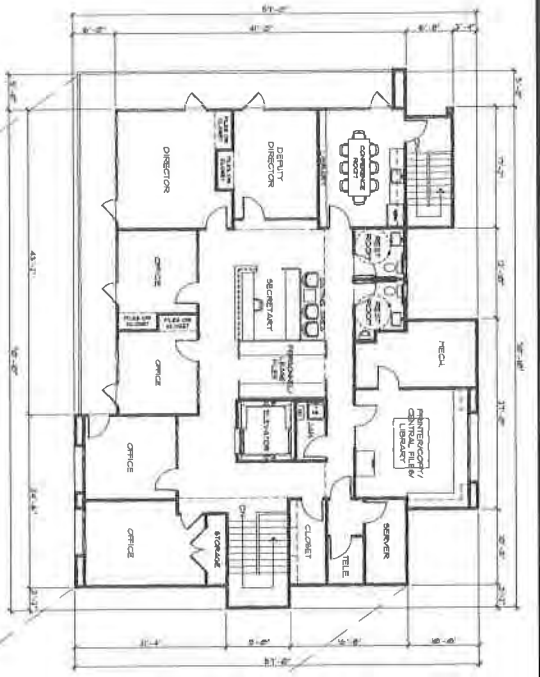
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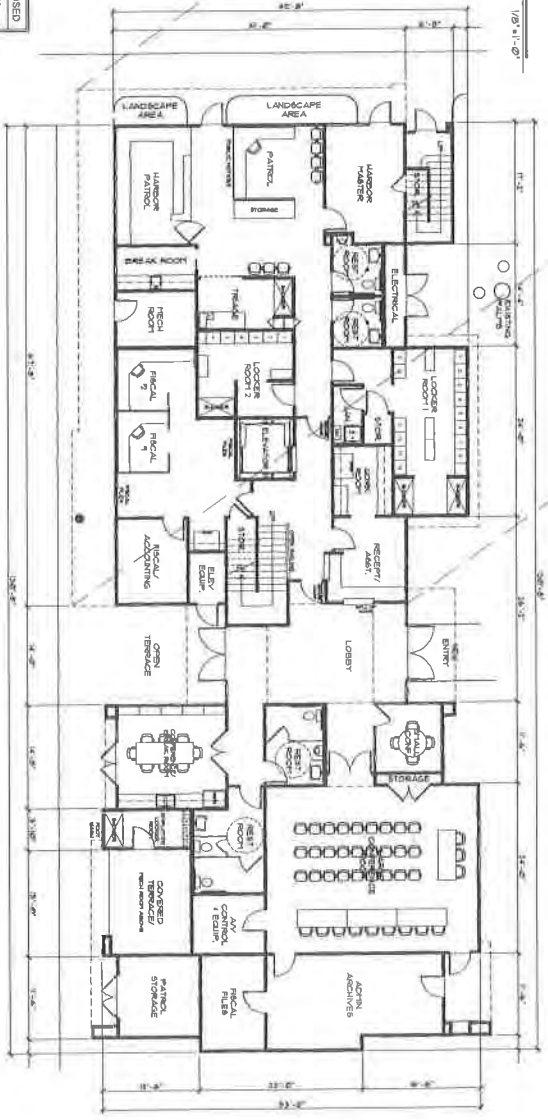
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PROPOSED SECOND FLOOR PLAN



PROPOSED FIRST FLOOR PLAN

PROPOSED BUILDING AREAS	
FIRST FLOOR	5,818 SF
ACCESSORY BUILDINGS	80 SF
SECOND FLOOR	3,090 SF
TOTAL	8,988 SF



A2.1

Sheet number

CHANNEL ISLANDS HARBOR ADMINISTRATION BLDG.
 3900 PELICAN WAY, L 5200
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sheet under
 FIRST and
 SECOND FLOOR
 PLANS

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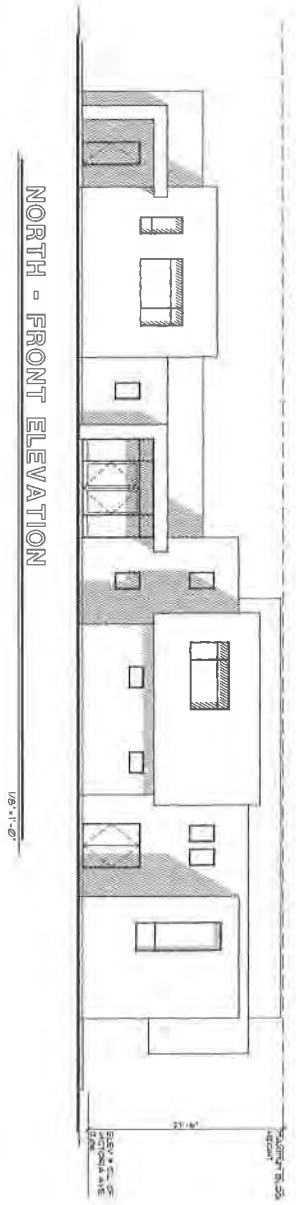
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23 MAY 2015

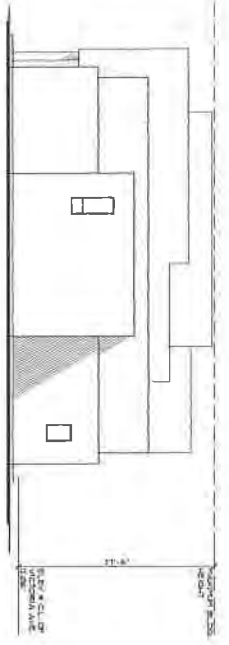
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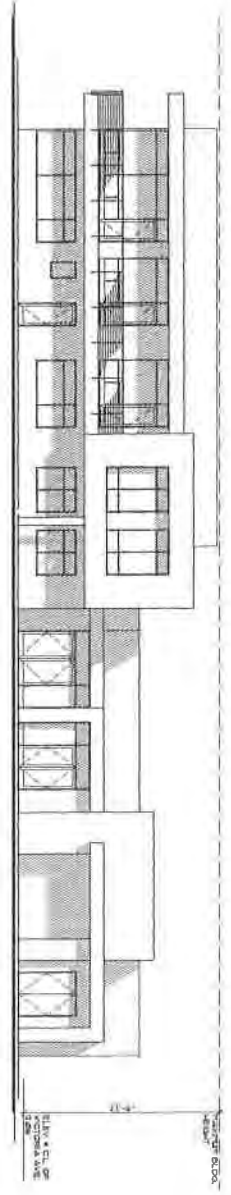
revisions



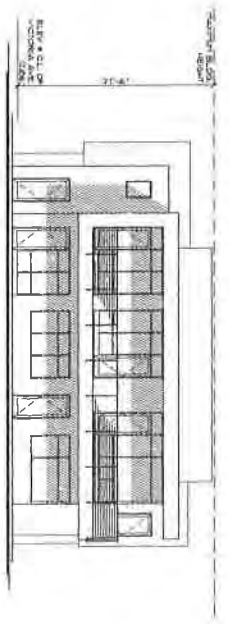
NORTH - FRONT ELEVATION
1/8" = 1'-0"



EAST ELEVATION
1/8" = 1'-0"



SOUTH ELEVATION
1/8" = 1'-0"



WEST ELEVATION
1/8" = 1'-0"

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EXTERIOR
ELEVATIONS

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