



Channel Islands Harbor Department
3900 Pelican Way
Oxnard CA 93035-4367
805 973 5950
805 382 3015 FAX

NOTICE OF IMPENDING DEVELOPMENT
For
CONSTRUCTION OF A WIRELESS COMMUNICATION
FACILITY (WCF) AND RECONSTRUCTION OF AN EXISTING
PUBLIC RESTROOM
3821 SOUTH VICTORIA AVENUE, OXNARD, CA 93035

Pursuant to Public Resources Code §30606 and California Coastal Commission Regulations §§ 13358 and 13359, this NOTICE is provided to Interested Parties of the intent of the Harbor Department to construct a wireless communication facility and replace an existing public restroom. The wireless communication facility and restroom is located at 3821 South Victoria Avenue, Oxnard, CA 93035.

This NOTICE must be submitted prior to commencement of development by the public agency proposing a project pursuant to an adopted Public Works Plan. In this case, the DRAFT Channel Islands Harbor Public Works Plan (5TH Amendment) (PWP) is the PWP covering this project. This NOTICE is prepared consistent with the PWP. It is the intention to have the DRAFT 5th Amendment to the PWP and this NOID considered by the Coastal Commission at the soonest possible date.

In addition, Coastal Act §30605 makes clear that Coastal Commission review of the NOTICE is limited to imposing conditions consistent with Section 30607 and 30607.1.

A full and complete copy of the REVISED NOTICE OF IMPENDING DEVELOPMENT may be obtained at the Channel Islands Harbor Offices located at the above address. For further information please contact 805 973 5954.



Danielle Tarr
Harbor Planning Specialist

Date: 3/26/2015



CHANNEL ISLANDS HARBOR
Ventura County Harbor Department

Lyn Krieger
Director

3900 Pelican Way • Oxnard, CA 93035-4367 • (805) 973-5950 • Fax (805) 382-3015

March 26, 2015

Mr. Steve Hudson, District Manager
CALIFORNIA COASTAL COMMISSION
South Central Coast Area Office
89 So. California Street, Suite 200
Ventura, CA 93001

Attn. Ms. Megan Hudson, Coastal Analyst

SUBJECT: NOTICE OF IMPENDING DEVELOPMENT – Wireless Communication Facility (WCF) and Reconstruction of an Existing Public Restroom

Dear Mr. Hudson:

Pursuant to Public Resources Code §30606 and California Coastal Commission Regulations §§ 13358 and 13359, The County of Ventura ("County") presents this Notice of Impending Development ("NOID") for a Wireless Communication Facility and reconstruction of an existing restroom located at 3821 South Victoria Avenue, in Oxnard, California. Such notice must be submitted prior to commencement of development by the public agency proposing a project pursuant to a certified Public Works Plan. In this case, the certified Channel Islands Harbor Public Works Plan ("PWP") is the PWP covering this project. This Notice provides a description of the proposed project as well as a showing of consistency with the PWP.

In addition, Coastal Act §30605 makes clear that Coastal Commission review of the NOID is limited to imposing conditions consistent with Section 30607 and 30607.1. Section 30607.1 is restricted only to consideration of dike and fill impacts to wetlands. No wetlands exist on the project site; therefore, this section does not apply to the proposed project.

The County believes – as will be set forth with more particularity in this letter – that the proposed construction is consistent with the Public Works Plan. However, since CCC staff disagreed with this conclusion, the County also presented a PWP amendment. This amendment and the NOID are to be heard together.

Project Description

It should be noted that each aspect of the project described below is hereby incorporated into this project description.

The proposed project is to construct a 58-foot-high telecommunications facility consisting of a 12 panel antennae mounted on a faux palm tree “monopalm” among other natural palms in the area so as not to be as noticeable to residents and visitors. As an additional visual mitigation, and because it is difficult to place accompanying equipment underground in a waterfront location, the base equipment would be stored above ground, built in a new public restroom structure, to replace the County’s current aged restroom at the site. New Cingular has agreed to include the public restroom replacement at its cost.

The placement of a wireless communication facility in the Harbor comes after a significant period of review and consultation with the City of Oxnard, the County (including County Counsel), and CCC staff. Cellular communication serves public safety and boater interests in that it allows reliable coverage of the beach and offshore areas in the event of emergencies. There is no known opposition to this important public safety feature.

New Cingular Wireless has been in contact with the County Harbor Department off and on over a period of more than five years regarding their search for a cell tower location to better serve the residents and guests at the Harbor and its surrounding communities as their current facility can no longer be improved, as explained below. As demand for cell services expands, and especially demand for transmission of data, the need for cell tower expansion and improvement has increased. For some time New Cingular has operated and maintained the only existing cell tower in the entire Harbor on Naval Base Ventura County, across Victoria Avenue from this proposed facility. However, National security issues have made New Cingular’s access to the Navy base site difficult since September 11, 2001, and the Navy is unwilling to allow expansion of services or replacement of equipment on the base. Services for both cellular telephones and data transmission are very spotty along the coastline, and there are extremely limited opportunities to place cell phone towers in these areas.

The parcel that would include these facilities is immediately adjacent to the boatyard and boat storage facility approved by the Commission in 2008 and completed in 2010. This adjacent replacement project included over 1,000 lineal feet of new pedestrian promenade. The replacement restroom, here, will provide support to the public using this existing public access improvement. A total of 24 existing public parking spaces are provided for users of the small park facility on site, and for walkers in the area. No parking will be lost in the implementation of this proposed project.

This proposed project conforms with the County’s desire that cell tower equipment shelters be incorporated into structures or otherwise screened from public views of the Harbor. The County intends that freestanding cell tower facilities on the east side of the harbor will be minimized in number. To the extent feasible, such facilities will be incidental to the principal designated land use of each site. Cell towers will not be located in designated view corridors.

In keeping with a recent policy adopted by the CCC and contained in the Santa Monica Mountains LCP amendment, all equipment, antennas, poles, towers, artificial screens or any other equipment related to the operation of the wireless or other telecommunication facility shall be removed and the site restored to its pre-installation condition by the service provider/permittee within 30 days after the facility is no longer in operation or is abandoned.

Landscaping

There is currently a minimal amount of landscaping on this parcel (see photographs provided). The new development will add trees, shrubs and groundcovers. None of the trees onsite has ever been used for nesting by heron during the last seven nesting seasons. Please refer to the construction drawings enclosed with this NOID, showing any existing and new landscaping. All landscaping has been chosen for its appropriateness to the Channel Islands marine climate and for use in bioswales.

Conformity with the Public Works Plan

The County Public Works Plan designates this site as "Visitor Serving Boating". The Visitor Serving Boating designation encompasses the entire portion of the site, and is next to the abandoned boat launch ramp off of Victoria Avenue. Permitted uses in this area are dry storage of boats, the parking of vehicles and boat trailers and, where launching facilities exist, the washing of boats and flushing of saltwater engine cooling systems, boat and boat equipments sales, rentals, display, brokerage, storage and minor repair and packaged (carry-out) food or beverage sales.

When the PWP was initially certified in 1986, there was an interest in insuring that building heights remained low profile. In most cases, the building height was restricted to two stories or 25 feet, even though at the time many existing buildings exceeded that height. Cell towers were not a factor at the time of certification, being a technology that became prominent well after the certification of the PWP. It is very clear from a complete reading of the PWP that the height restriction was intended to apply to buildings, and not such things as antennas, utility poles or now, cell towers. While a cell tower may be considered a structure and "development" within the meaning of the Coastal Act, the application of height requirements to that cell tower merely because it meets the very low threshold of the definition of development is clearly inconsistent with the goals and policies of the PWP. Therefore, the proposed project complies with the permitted uses of the Public Works Plan.

Conformity with the City of Oxnard Local Coastal Plan and Coastal Zone

Following certification of a Local Coastal Program for a local agency after the PWP is already certified, Coastal Commission Regulations Section 13371 requires consultation with the local agency to ascertain whether the proposed PWP amendment is in conformity with the Local Coastal Plan, and whether the local agency determined that there are impacts from the proposal. Although this is a requirement imposed on CCC

staff, the County has consulted with the City of Oxnard which has determined that the proposal is in conformity with the City's Local Coastal Program and that the impacts are insignificant.

The Channel Islands Harbor land area is owned by the County of Ventura, but is within the city limits of the City of Oxnard. The California Coastal Commission approved the City's Local Coastal Plan in 1986. The City's LCP designates the area as Coastal Depending Industrial (Oxnard LCP pg. 14). The proposed development is consistent with these policies within the City's LCP. The City of Oxnard has issued Coastal Development Permits for wireless communication facilities (cell towers) without objection by the Coastal Commission in spite of the fact that the City's LCP does not specifically address wireless communication facilities. Like the PWP, the City's Local Coastal Program height requirements are aimed at buildings, and not utility poles, antennas, and cell towers.

Construction Staging

The construction staging for this project will occur within the site itself. All staging areas will be kept locked and secured, and screened from view.

Project Scheduling

In order to commence this project the NOID must have been reviewed and approved by the Coastal Commission. From the date of initial submittal to the Commission, it is hoped that a hearing could be held within 90 days.

Environmental Review

The project site contains no tree that has been used as a nesting site by either the Great Blue Herons or the Black Crowned Night Herons and is not within 300 feet of any such site. A biologist previously accepted by the CCC will confirm this information. Maps and reports from the County's biologist regarding these sites have been provided to Coastal staff with other projects and are not duplicated here. The closest tree occupied by a heron as a nesting site is on the west side adjacent to the Boating Information and Safety Center (BISC), approximately 1476 feet across the channel and is a Mexican fan palm periodically used by Great Blue Heron.

The Harbor Department has determined that the proposed wireless communication facility and public restroom reconstruction qualify as Categorically Exempt from the California Environmental Quality Act (CEQA) as a Class 3 exemption, new conversion or construction of small structures (CEQA Guidelines Sec. 15303), and Class 32, in-fill development project (CEQA Guidelines Sec. 15332). A Notice of Exemption has been prepared and will be filed with the County Clerk upon approval of this NOID.

Notification

Pursuant to Coastal Act §30606, the Harbor Department is notifying, through provision of this letter or a notice of availability of this letter, the Coastal Commission and Ventura County Board of Supervisors as well as other interested persons, organizations, and governmental agencies of the impending development. A list has been provided of all persons and organizations receiving a notice of approval of this NOID. There are no residences within 300 feet of this site. A photograph is included showing the notice has been posted onsite. The NOID has also been posted on the Harbor's website.

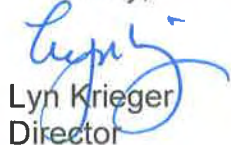
Conditions of Approval

The County of Ventura has applied conditions of approval to the construction of the proposed buildings and associated improvements in order to further insure compliance with the Coastal Act, the Public Works Plan, City of Oxnard standards including the Uniform Building Code, and other Channel Islands Harbor policies that may apply. These conditions are included herein and are hereby incorporated into the Project Description.

Conclusion

In conclusion, we believe the proposed project is in compliance with the certified PWP as well as consistent with the purposes of the Coastal Act by improving emergency service and public restroom facilities within the Harbor. Please let us know if any additional information or materials are needed to assist with your review.

Sincerely,



Lyn Krieger
Director

Cc: Board of Supervisors
Mike Powers, County Executive Officer
Jack Ainsworth, Senior Deputy Director, Statewide
Steve Hudson, District Manager
Andi Culbertson, Coastal Consultant

Enclosures: Construction Drawings: Title Sheet, Topographic Survey, Site Plan,
Antenna Configuration and Layout Plan, Equipment Layout Plan,
Elevations, Signage
Evaluation of Environmental Effects
Aerial Map showing the proposed WCF location
Aerial Map showing the location of the nearest heron nesting tree and

Photographs of existing restroom
Photo simulations with three views of proposed project
Notice posted on property
Photograph of notice posted on property
Mailing list of recipients of Notice

**County of Ventura Conditions of Approval
Wireless Communication Facility and Restroom Reconstruction NOID**

- 1) Prior to obtaining a building permit or grading permit from the City of Oxnard, the Harbor Department shall approve all plans for construction of this development, including grading, building, signage and landscaping plans. The revised plans submitted for approval by the Harbor Department and for building permit issuance shall demonstrate compliance with the PWP.
- 2) Any modifications to the plans after approval of the Harbor Department shall also be approved by the Harbor Department. Copies of the approved plans shall be provided to the Harbor Department in both paper and electronic format.
- 3) All landscaping, lighting, public access and signage plans shall comply with criteria approved by the County of Ventura.
- 4) No materials classified as flammable, combustible, radioactive, carcinogenic or otherwise potentially hazardous to human health shall be handled, stored or used on the project property, except as provided by a permit issued by the City of Oxnard Fire Department.
- 5) Landscaping and irrigation plans shall show proper water meter size, backflow prevention devices and cross-connection control. All irrigation systems shall be designed to be low water using and shall include automatic rain shut-off and water sensor shut off devices as water conservation measures.
- 6) All trees planted or placed on the property by the Lessee shall be at least 24-inch-box size. All shrubs and vines shall be at least five-gallon size, except as otherwise approved on the landscape plans.
- 7) All vehicle access driveways shall be constructed to meet Fire Department conditions. All curbs adjacent to designated fire lanes shall be painted to prohibit parking or stopping in accordance with the California Vehicle Code.
- 8) All roof covering materials shall be of non-combustible or fire retardant materials as approved by the City of Oxnard Fire Department and the City of Oxnard Code.
- 9) All Fire Department approvals to ensure access and the availability of water for fire combat operations to all areas of the project shall be obtained prior to final occupancy.
- 10) Prior to installation of lighting, a lighting plan shall be submitted to the Harbor Department showing type of fixtures, heights, and intensity of illumination. Lighting fixtures shall be cut-off type fixtures that divert lighting downward onto the property and shall not cast light onto adjacent properties, roadways or waterways. Under canopy lighting shall be concealed or recessed so as to not be directly visible from the street.
- 11) All trucks hauling graded or excavated material offsite, if any, shall be required to cover their loads as required by the California Vehicle Code Sec. 23114, with special attention to preventing spilling onto public streets.
- 12) All graded and excavated material, exposed soils areas, and active portions of the construction site, including unpaved onsite roadways, shall be treated to prevent fugitive dust. Treatment shall include, but not necessarily be limited to, periodic watering, application of environmentally safe soil stabilization materials, and/or roll-

compaction as appropriate. Watering shall be done as often as necessary and reclaimed water shall be used whenever possible.

- 13) Lessee's contractor shall ensure that all construction equipment is maintained and tuned to meet applicable Environmental Protection Agency (EPA) and California Air Resources Board (CARB) emission requirements. At such time as new emission control devices or operational modifications are found to be effective, lessee's contractor shall immediately implement such devices or operational modifications on all construction equipment.
- 14) Lessee's contractor shall minimize the number of vehicles and equipment operating on site at the same time.
- 15) At all times during construction activities, lessee's contractor shall minimize the area disturbed by clearing, grading, earth moving, or excavation operations to prevent excessive amounts of dust.
- 16) During periods of high winds (i.e. wind speed sufficient to cause fugitive dust to impact adjacent properties), lessee's contractor shall cease all clearing, grading, earth moving, and excavation operations to prevent fugitive dust from being a nuisance or creating a hazard, either onsite or offsite.
- 17) Throughout construction, lessee's contractor shall sweep adjacent streets and roads at least once per day, preferably at the end of the day, so that any visible soil material and debris from the construction site is removed from the adjacent roadways.
- 18) Lessee and/or lessee's contractor shall employ current Best Management Practices to protect against storm water runoff into storm drains and the harbor.
- 19) Construction staging areas shall be screened and protected to avoid material being blown or washed into the harbor. Screening material shall be approved by the Harbor Department. Lessee shall limit outdoor storage of materials to the locations shown and all construction material shall be stored within the staging area. Construction staging area shall remain locked and secure when not in use.
- 20) Hours of construction shall be limited to 7:00 a.m. to 7:00 p.m., Monday through Saturday, and not allowed on Sunday or holidays without prior approval of the Harbor Department.
- 21) Signage shall be provided to notify the public when access to public sidewalk will be blocked because of construction. Signage will indicate alternate routes.
- 22) All roof heating and cooling systems, and other exterior mechanical equipment, shall be screened from view from adjoining properties, waterways or public streets. Plumbing vents, ducts, and other appurtenances protruding from the roof of structure shall be placed so that they will not be visible from the front of the property, from waterways, or other vantage points. Roof vents shall be painted to match the roof material color.
- 23) Exterior utility meter panels shall be painted to match the structure upon which it is located. Such panels shall be located to take advantage of screening (e.g., landscaping or other building elements) from public views, to the maximum extent feasible.
- 24) Lessee shall submit a master sign program for the entire project for approval of the Harbor Department prior to final certificate of occupancy.

- 25) Lessee is responsible for removing all graffiti from the project site within 24 hours and restoring the surface to match the existing.
- 26) Adequate trash facilities and pick ups shall be provided to maintain the site free of debris, food waste, and to minimize scavenger birds.
- 27) Construction and Maintenance Responsibilities and Debris Removal
- a) No Demolition or construction materials, debris, or waste shall be placed or stored where it may enter sensitive habitat, receiving waters or a storm drain, or be subject to wave, wind, rain, or tidal erosion and dispersion.
 - b) No demolition or construction equipment, materials, or activity shall be placed in or occur in any location that would result in impacts to ESHA, wetlands or their buffers.
 - c) Any and all debris resulting from demolition or construction activities shall be removed from the project site within 24 hours of completion of the project.
 - d) Demolition or construction debris and sediment shall be removed from work areas each day that demolition or construction occurs to prevent the accumulation of sediment and other debris that may be discharged into coastal waters.
 - e) All trash and debris shall be disposed in the proper trash and recycling receptacles at the end of every construction day.
 - f) The applicant shall provide adequate disposal facilities for solid waste, including excess concrete, produced during demolition or construction.
 - g) Debris shall be disposed of at a legal disposal site or recycled at a recycling facility. If the disposal site is located within the coastal zone, a separate Notice of Impending Development shall be required before disposal can take place.
 - h) All stock piles and construction materials shall be covered, enclosed on all sides, shall be located as far away as possible from drain inlets and any waterway, and shall not be stored in contact with the soil.
 - i) Machinery and equipment shall be maintained and washed in confined areas specifically designed to control runoff. Thinners or solvents shall not be discharged into sanitary or storm sewer systems.
 - j) The discharge of any hazardous materials into any receiving waters shall be prohibited.
 - k) Spill prevention and control measures shall be implemented to ensure the proper handling and storage of petroleum products and other construction materials. Measures shall include a designated fueling and vehicle maintenance area with appropriate berms and protection to prevent any spillage of gasoline or related petroleum products or contact with runoff. The area shall be located as far away from the receiving waters and storm drain inlets as possible.
 - l) The least damaging method shall be used for the construction of pilings and any other activity that will disturb benthic sediments. The suspension of benthic sediments into the water column shall be minimized to the greatest extent practicable.
 - m) Best Management Practices (BMPs) and Good Housekeeping Practices (GHPs) designed to prevent spillage and/or runoff of demolition or construction related materials, and to contain sediment or contaminants associated with demolition or construction activity shall be implemented prior to the onset of such activity.

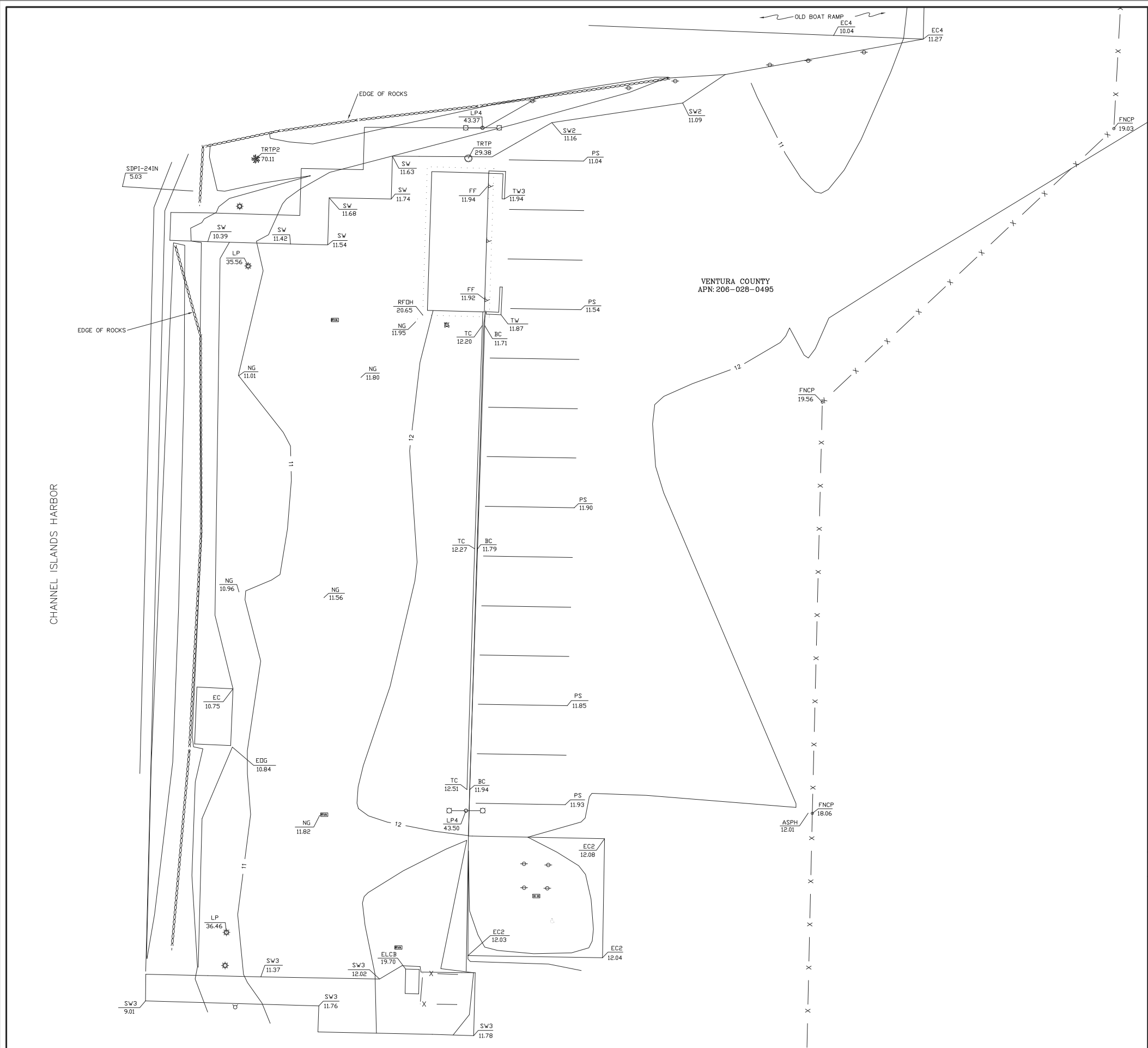
- n) All BMPs shall be maintained in a functional condition throughout the duration of the project.

28) Water Quality Management Plan – All new development or redevelopment shall include a Water Quality Management Plan (WQMP), prepared by a licensed water quality professional, and shall include plans, descriptions, and supporting calculations. The WQMP shall incorporate structural and non-structural Best Management Practices (BMPs) designed to reduce, to the maximum extent practicable, the volume, velocity and pollutant load of stormwater and dry weather flows leaving the developed site. In addition to the specifications above, the plan shall be in substantial conformance with the following requirements:

- a) The proposed development shall reduce or maintain pre-development peak runoff rates and average volumes to the maximum extent practicable.
- b) Appropriate structural and non-structural BMPs (site design, source control and treatment control) shall be designed and implemented to minimize water quality impacts to surrounding coastal waters. Structural Treatment Control BMPs shall be implemented when a combination of Site Design and Source Control BMPs are not sufficient to protect water quality.
- c) Impervious surfaces, especially directly connected impervious areas, shall be minimized and alternative types of pervious pavement shall be used where feasible.
- d) Irrigation and the use of fertilizers and other landscaping chemicals shall be minimized.
- e) Trash, recycling and other waste containers shall be provided as necessary. All waste containers anywhere within the development shall be covered, watertight, and designed to resist scavenging animals.
- f) Runoff from all roofs, roads and parking areas shall be collected and directed through a system of structural BMPs including vegetated areas and/or gravel filter strips and other vegetated or media filter devices. The system of BMPs shall be designed to: 1) trap sediment, particulates and other solids; and 2) remove or mitigate contaminants (including trash, debris and vehicular fluids such as oils, grease, heavy metals and hydrocarbons) through infiltration, filtration and/or biological uptake. The drainage system shall be designed to convey and discharge runoff from the developed site in a non-erosive manner.
- g) Parking lots and streets shall be swept on a weekly basis, at a minimum, in order to prevent dispersal of pollutants that might collect on those services, and shall not be sprayed or washed down unless the water used is directed through the sanitary sewer system or a filtered drain.
- h) The detergents and cleaning components used onsite shall comply with the following criteria: they shall be phosphate-free, biodegradable, and non-toxic to marine wildlife; amounts used shall be minimized to the maximum extent practicable; no fluids containing ammonia, sodium hypochlorite, chlorinated solvents, petroleum distillates, or lye shall be used.
- i) Post-construction structural BMPs (or suites of BMPs) shall be designed to treat, infiltrate or filter the amount of stormwater runoff produced by all storms up to and including the 85th percentile, 24-hour storm event for volume based BMPs,

and/or the 85th percentile, 1-hour storm event, with an appropriate safety factor (i.e., 2 or greater) for flow-based BMPs.

- j) All BMPs shall be operated, monitored, and maintained for the life of the project and at a minimum, all structural BMPs shall be inspected, cleaned-out, and where necessary, repaired at the following minimum frequencies: 1) prior to October 15th each year; 2) during each month between October 15th and April 15th of each year and, 3) at least twice during the dry season.
- k) Debris and other water pollutants removed from structural BMPs during cleanout shall be contained and disposed of in a proper manner.
- l) Lessee shall maintain the drainage system and the associated structures and BMPs according to manufacturer's specifications.



LEGEND

These standard symbols will be found in the drawing.

- BOLLARD
- BENCHMARK
- DOOR
- FIRE HYDRANT
- HANDICAP PARKING
- IRRIGATION VALVE
- LIGHT POLE
- MONUMENT FOUND
- STORMDRAIN INLET
- TREE DECIDUOUS
- TREE PALM
- WATER VALVE
- LIGHT POLE
- ASPH
- BC
- EC
- ELCB
- EOG
- EOR
- FF
- FNCP
- LP
- NG
- PS
- RFOH
- SDPI
- SW
- TC
- TRTP
- TRTP2
- TW
- BOUNDARY LINE
- CENTERLINE
- MISC. PROPERTY LINE
- MISC. TIE LINE
- RIGHT-OF-WAY LINE
- EASEMENT LINE
- FENCE LINE

LEGEND

- This is not a boundary survey. This is a specialized topographic map. The property lines and easements shown hereon are from record information as noted hereon. Floyd Surveying translated the topographic survey to record information using the two found monuments shown hereon. No title research was performed by Floyd Surveying.
- Any changes made to the information on this plan, without the written consent of Floyd Surveying relieves Floyd Surveying of any and all liability.
- These drawings & specifications are the property & copyright of Floyd Surveying & shall not be used on any other work except by agreement with the Surveyor. Written dimensions shall take preference over scaled & shall be verified on the job site. Any discrepancy shall be brought to the notice of the Surveyor prior to commencement of any work.
- Field survey completed on JULY 24, 2013.

GENERAL NOTES



12900 PARK PLAZA DRIVE
CERRITOS, CA 90703



BLACK & VEATCH

12750 CENTER COURT DRIVE
STE 600
CERRITOS, CA 90703



pifmus design group
1594 BATAVIA STREET, ORANGE CALIFORNIA 92867
714.685.0123 FAX 714.685.0125

A	7/26/13	PRELIMINARY SURVEY
REV	DATE	DESCRIPTION



FLOYD SURVEYING
2621 GREEN RIVER RD.
STE 105--202
CORONA, CA 92882
CELL: (949) 200-0626
EMAIL: fsi@floydsurveying.com



VN0273
OXNARD HARBOR
VICTORIA & MURRE
OXNARD, CA 93035

SHEET TITLE

**SITE SURVEY
GENERAL INFORMATION**

SHEET NUMBER

LS2

DETAIL SITE PLAN





12900 PARK PLAZA DRIVE
CERRITOS, CA 90703



BLACK & VEATCH

12750 CENTER COURT DRIVE
SUITE #600
CERRITOS, CA 90703



1576 BATAVIA ST. STE 1C, ORANGE CA 92667

PH. (714) 685-0123

FAX (714) 685-0125

REV	DATE	DESCRIPTION
1	10/08/13	EQUIPMENT RELOCATION
0	09/05/13	100% ZD IFZ
A	08/28/13	90% ZD IFR

**NOT TO BE USED
FOR CONSTRUCTION**

IT IS A VIOLATION OF LAW FOR ANY PERSON,
UNLESS THEY ARE ACTING UNDER THE DIRECTION
OF A LICENSED PROFESSIONAL ENGINEER,
TO ALTER THIS DOCUMENT.

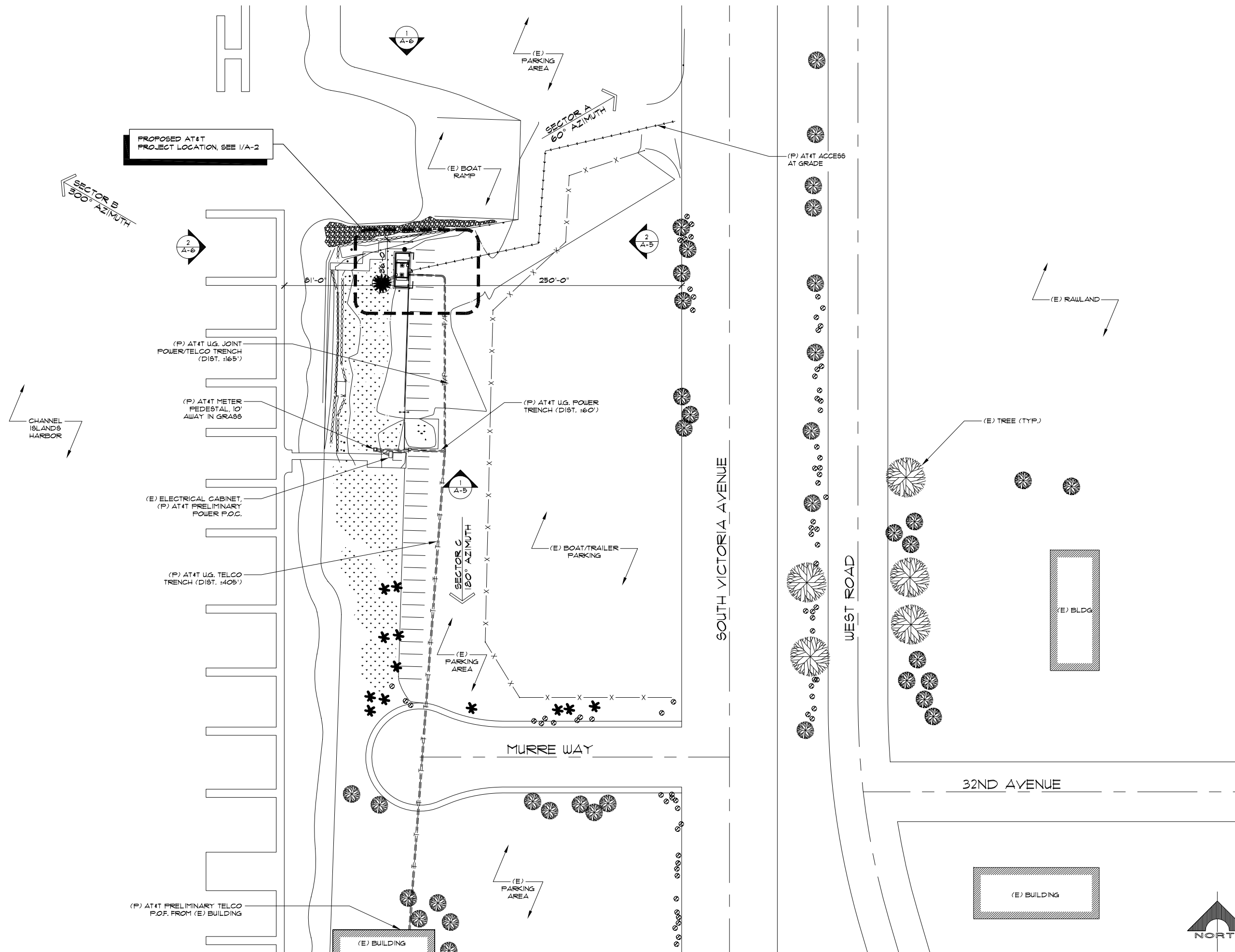
VN0273 (130298)
CHANNEL ISLANDS HARBOR
3821 SOUTH VICTORIA AVENUE
OXNARD, CA 93035
MONOPALM - NSB

SHEET TITLE

SITE PLAN

SHEET NUMBER

A-1





12900 PARK PLAZA DRIVE
CERRITOS, CA 90703



BLACK & VEATCH

12750 CENTER COURT DRIVE
SUITE #600
CERRITOS, CA 90703



1576 BATAVIA ST. STE. 1C, ORANGE CA 92667

PH. (714) 685-0123 FAX (714) 685-0125

REV	DATE	DESCRIPTION
1	10/08/13	EQUIPMENT RELOCATION
0	09/05/13	100% ZD IFZ
A	08/28/13	90% ZD IFR

**NOT TO BE USED
FOR CONSTRUCTION**

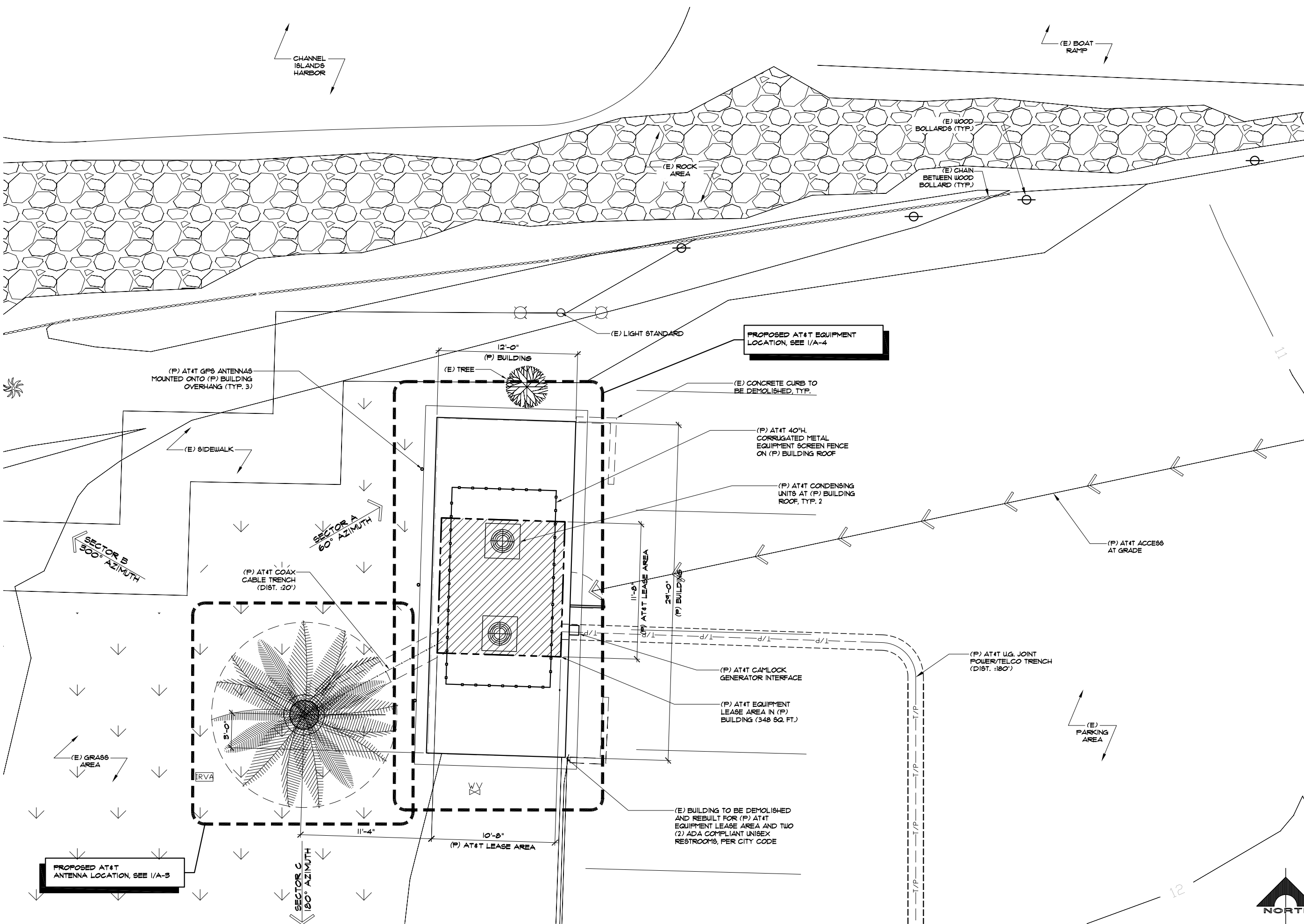
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TO ALTER THIS DOCUMENT.

VN0273 (130298)
CHANNEL ISLANDS HARBOR
3821 SOUTH VICTORIA AVENUE
OXNARD, CA 93035
MONOPALM - NSB

SHEET TITLE
ENLARGED SITE PLAN

SHEET NUMBER

A-2



ENLARGED SITE PLAN



12900 PARK PLAZA DRIVE
CERRITOS, CA 90703



BLACK & VEATCH

12750 CENTER COURT DRIVE
SUITE #600
CERRITOS, CA 90703



1576 BATAVIA ST. STE. 1C, ORANGE CA 92667

PH. (714) 685-0123 FAX (714) 685-0125

REV	DATE	DESCRIPTION
1	10/08/13	EQUIPMENT RELOCATION
0	09/05/13	100% ZD IFZ
A	08/28/13	90% ZD IFR

NOT TO BE USED
FOR CONSTRUCTION

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TO ALTER THIS DOCUMENT.

VN0273 (130298)
CHANNEL ISLANDS HARBOR
3821 SOUTH VICTORIA AVENUE
OXNARD, CA 93035
MONOPALM - NSB

SHEET TITLE
**ANTENNA CONFIGURATION
& LAYOUT PLAN**

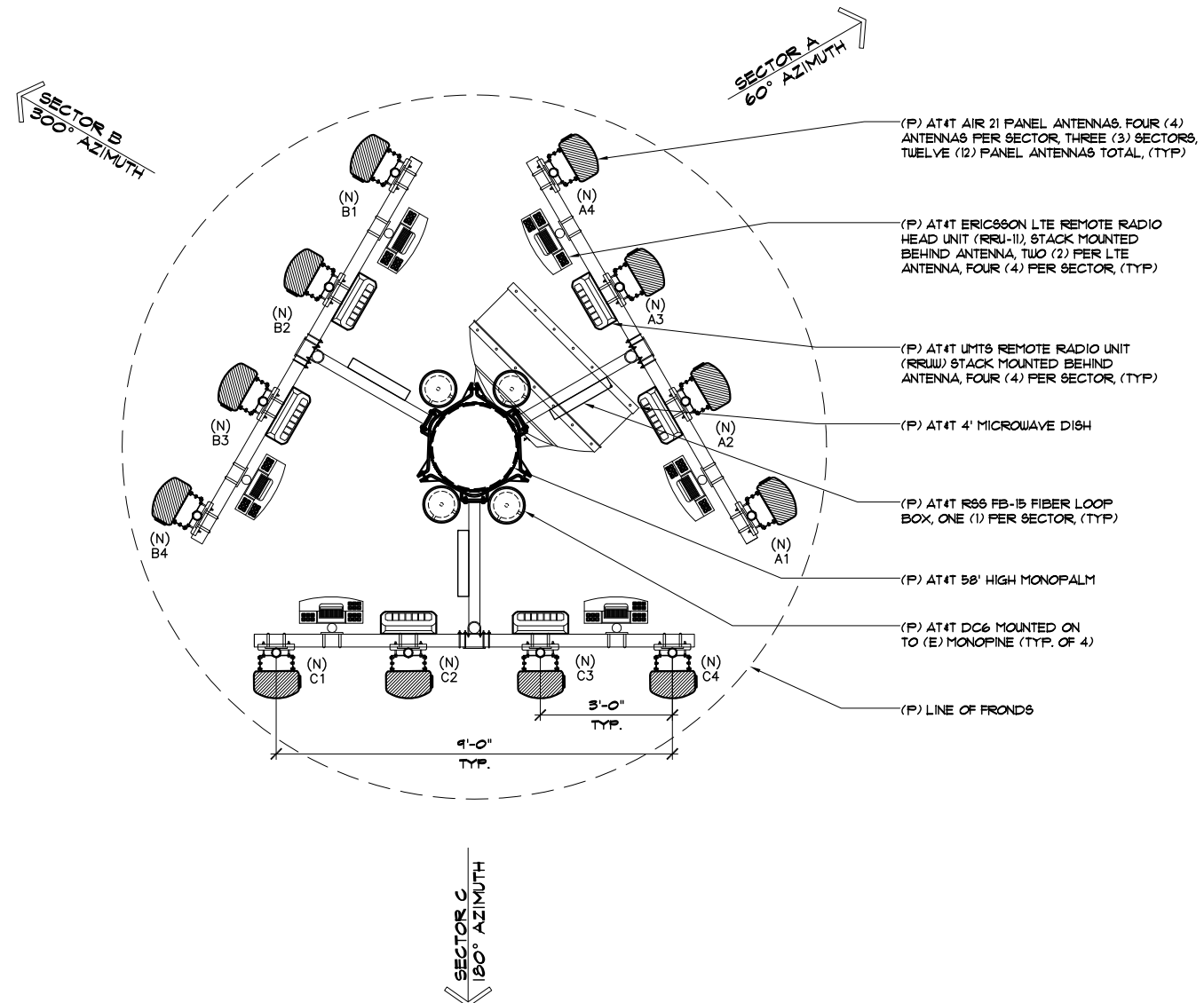
SHEET NUMBER

A-3

PROPOSED ANTENNAS AND TRANSMISSION CABLE REQUIREMENTS								
SECTOR	PROPOSED TECHNOLOGY	ANTENNA		ANTENNA AZIMUTH	RAD CENTER	TRANSMISSION LINES (LENGTH FT. +/-)		
		AIR or NON-AIR	SIZE (4'; 6'; 8')			JUMPER	PART NUMBER	DC CABLE (AWG #8)
SECTOR "A"	A1	LTE	AIR 21	6'	60°	50'-0"	12'	FIBER +/- 150'
	A2	UMTS	AIR 21	6'	60°	50'-0"	12'	FIBER +/- 150'
	A3	UMTS	AIR 21	6'	60°	50'-0"	12'	FIBER +/- 150'
	A4	LTE	AIR 21	6'	60°	50'-0"	12'	FIBER +/- 150'
SECTOR "B"	B1	LTE	AIR 21	6'	300°	50'-0"	12'	FIBER +/- 150'
	B2	UMTS	AIR 21	6'	300°	50'-0"	12'	FIBER +/- 150'
	B3	UMTS	AIR 21	6'	300°	50'-0"	12'	FIBER +/- 150'
	B4	LTE	AIR 21	6'	300°	50'-0"	12'	FIBER +/- 150'
SECTOR "C"	C1	LTE	AIR 21	6'	180°	50'-0"	12'	FIBER +/- 150'
	C2	UMTS	AIR 21	6'	180°	50'-0"	12'	FIBER +/- 150'
	C3	UMTS	AIR 21	6'	180°	50'-0"	12'	FIBER +/- 150'
	C4	LTE	AIR 21	6'	180°	50'-0"	12'	FIBER +/- 150'

REMOTE RADIO UNITS (RRU'S)					
SECTOR	RRU LOCATION UP OR DOWN	RRU (DISTANCE FROM ANTENNA)	RRU MIN. CLEARANCES		
			ABOVE	BELOW	SIDES
SECTOR "A"	A1	UP	< 1'-0"	18"	8"
	A2	UP	< 1'-0"	18"	8"
	A3	UP	< 1'-0"	18"	8"
	A4	UP	< 1'-0"	18"	8"
SECTOR "B"	B1	UP	< 1'-0"	18"	8"
	B2	UP	< 1'-0"	18"	8"
	B3	UP	< 1'-0"	18"	8"
	B4	UP	< 1'-0"	18"	8"
SECTOR "C"	C1	UP	< 1'-0"	18"	8"
	C2	UP	< 1'-0"	18"	8"
	C3	UP	< 1'-0"	18"	8"
	C4	UP	< 1'-0"	18"	8"

NOTE:
1. MONOPINE NEEDLES NOT SHOWN FOR CLARITY





12900 PARK PLAZA DRIVE
CERRITOS, CA 90703



BLACK & VEATCH

12750 CENTER COURT DRIVE
SUITE #600
CERRITOS, CA 90703



1576 BATAVIA ST. STE 1C, ORANGE CA 92667

PH. (714) 685-0123 FAX (714) 685-0125

REV	DATE	DESCRIPTION
1	10/08/13	EQUIPMENT RELOCATION
0	09/05/13	100% ZD IFZ
A	08/28/13	90% ZD IFR

**NOT TO BE USED
FOR CONSTRUCTION**

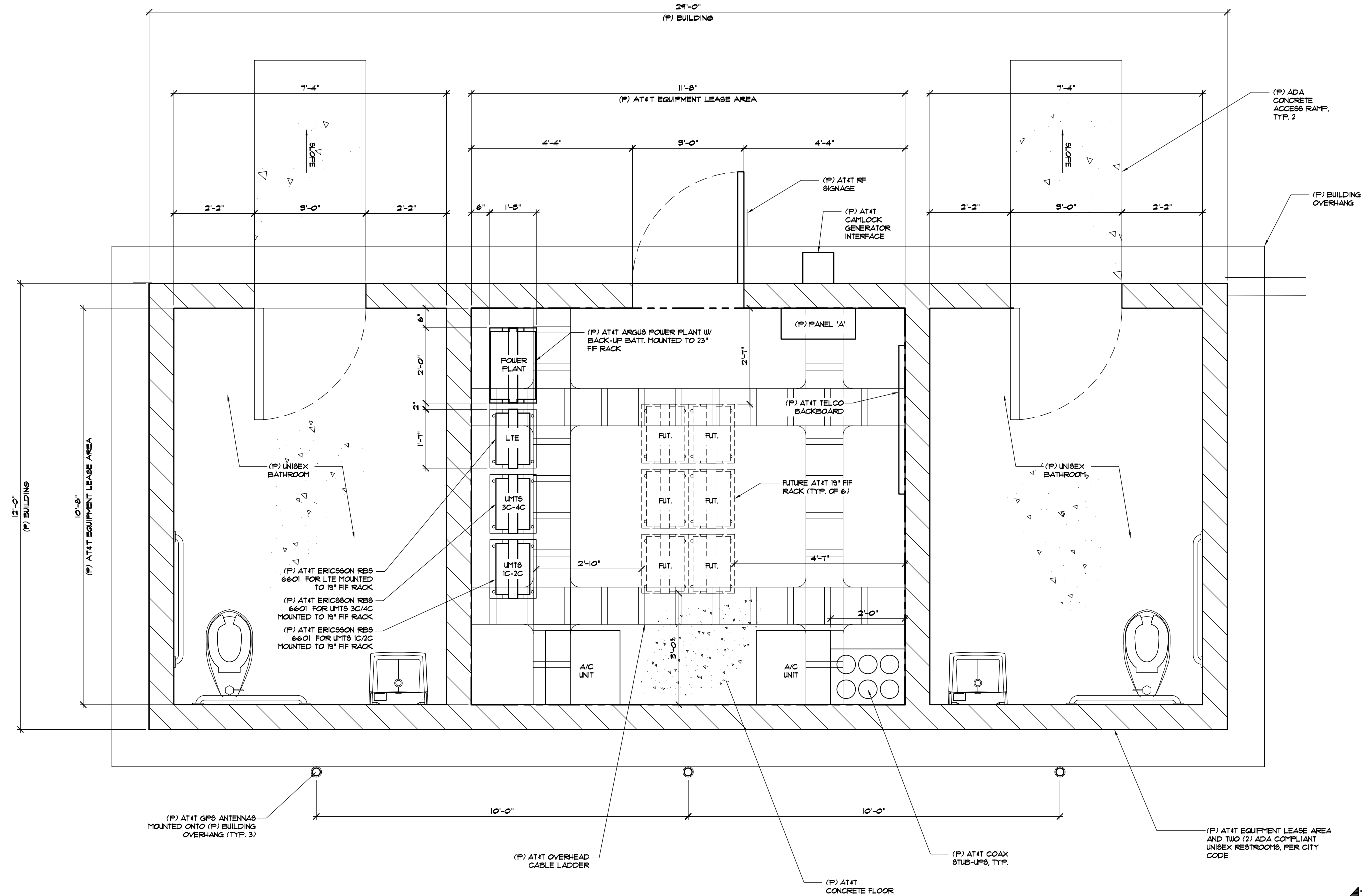
IT IS A VIOLATION OF LAW FOR ANY PERSON,
UNLESS THEY ARE ACTING UNDER THE DIRECTION
OF A LICENSED PROFESSIONAL ENGINEER,
TO ALTER THIS DOCUMENT.

VN0273 (130298)
CHANNEL ISLANDS HARBOR
3821 SOUTH VICTORIA AVENUE
OXNARD, CA 93035
MONOPALM - NSB

SHEET TITLE
**EQUIPMENT LAYOUT
PLAN**

SHEET NUMBER

A-4





12900 PARK PLAZA DRIVE
CERRITOS, CA 90703



BLACK & VEATCH

12750 CENTER COURT DRIVE
SUITE #600
CERRITOS, CA 90703



1576 BATAVIA ST. STE 1C, ORANGE CA 92867

PH. (714) 685-0123

FAX (714) 685-0125

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0	09/05/13	100% ZD IFZ
A	08/28/13	90% ZD IFR

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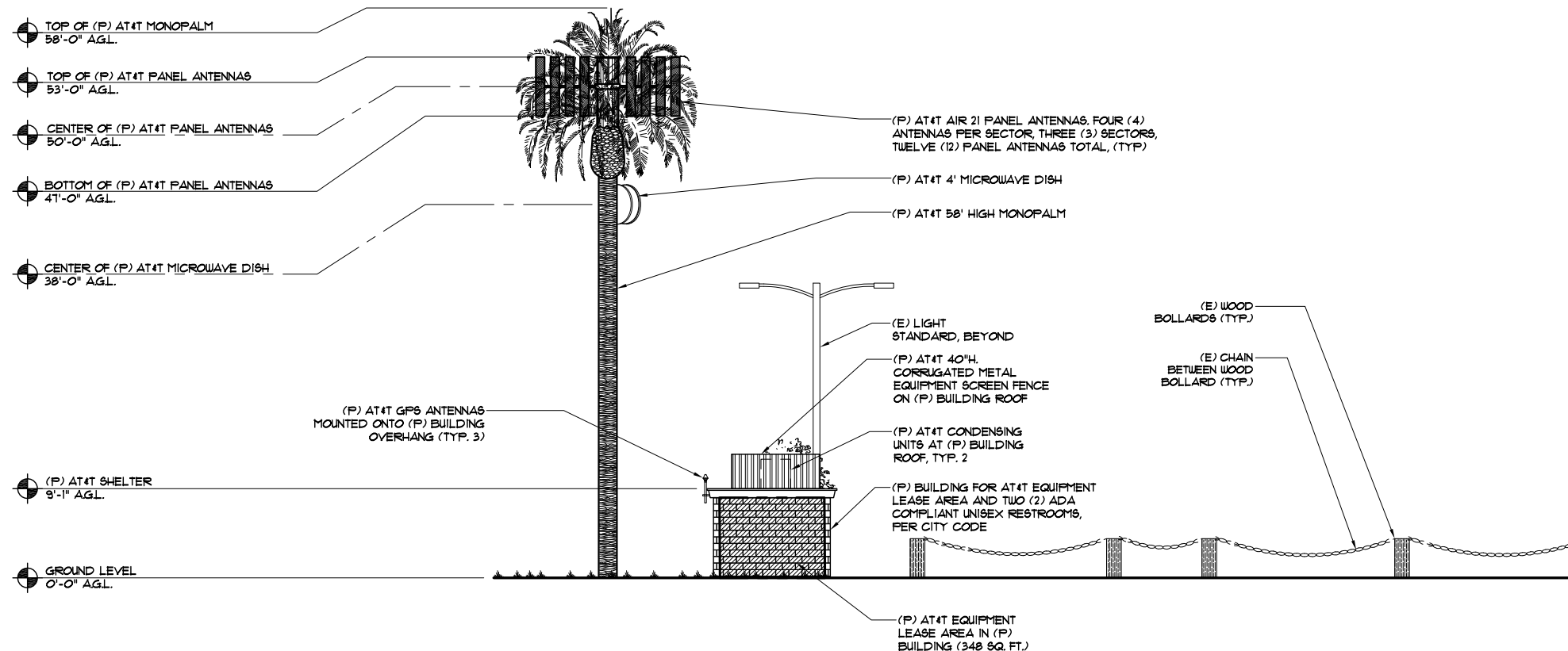
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VN0273 (130298)
CHANNEL ISLANDS HARBOR
3821 SOUTH VICTORIA AVENUE
OXNARD, CA 93035
MONOPALM – NSB

SHEET TITLE
ELEVATIONS

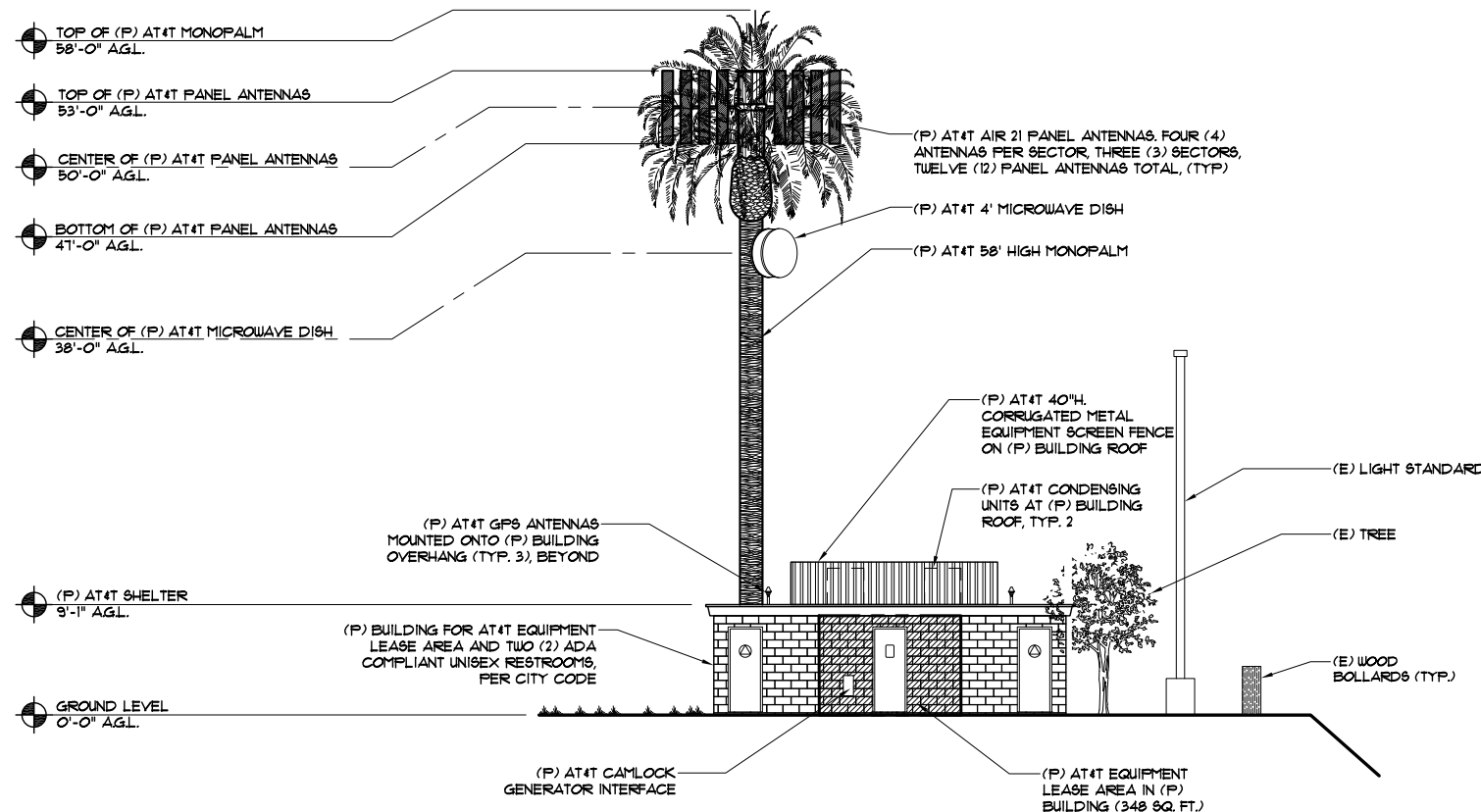
SHEET NUMBER

A-5



SOUTH ELEVATION

SCALE 1/8"=1' 0" 2' 6' 14' **1**



EAST ELEVATION

SCALE 1/8"=1' 0" 2' 6' 14' **2**



12900 PARK PLAZA DRIVE
CERRITOS, CA 90703



BLACK & VEATCH

12750 CENTER COURT DRIVE
SUITE #600
CERRITOS, CA 90703



1576 BATAVIA ST. STE 1C, ORANGE CA 92667

PH. (714) 685-0123

FAX (714) 685-0125

REV	DATE	DESCRIPTION
1	10/08/13	EQUIPMENT RELOCATION
0	09/05/13	100% ZD IFZ
A	08/28/13	90% ZD IFR

**NOT TO BE USED
FOR CONSTRUCTION**

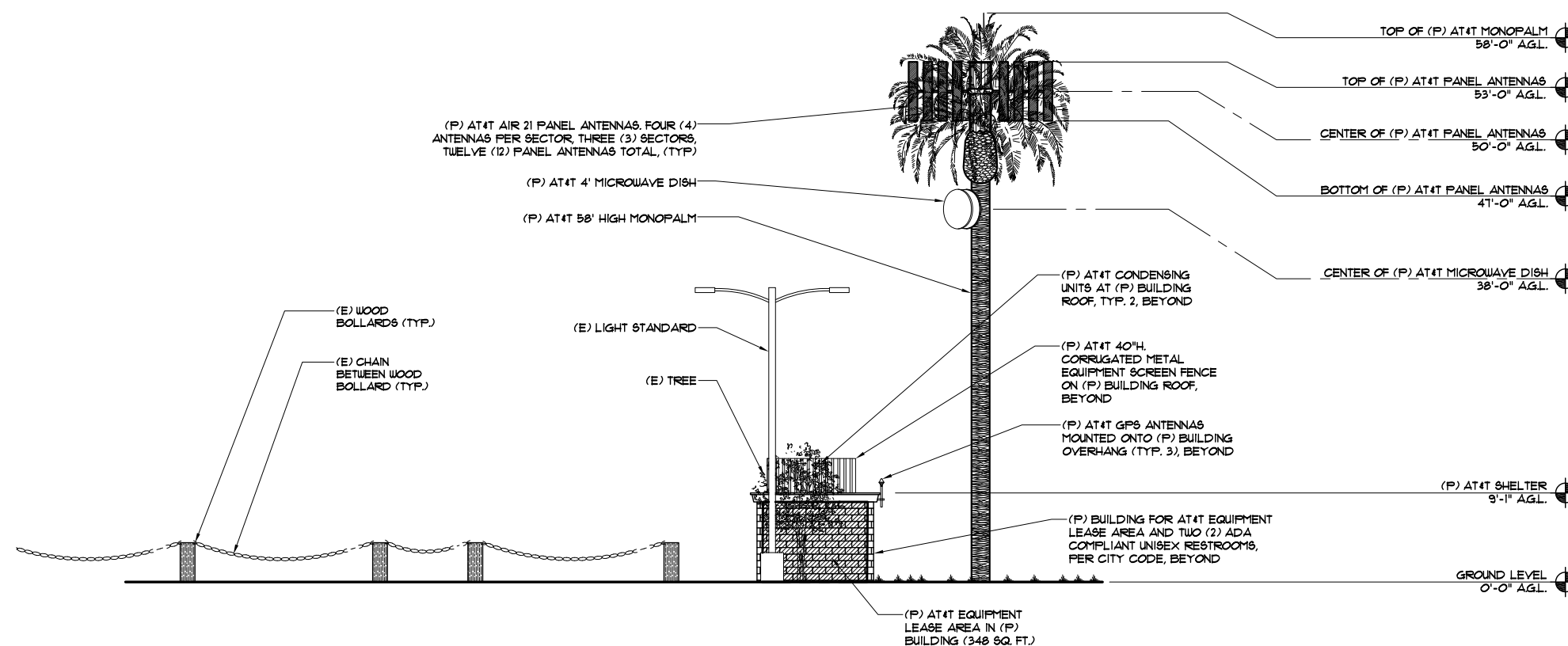
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VN0273 (130298)
CHANNEL ISLANDS HARBOR
3821 SOUTH VICTORIA AVENUE
OXNARD, CA 93035
MONOPALM - NSB

SHEET TITLE
ELEVATIONS

SHEET NUMBER

A-6

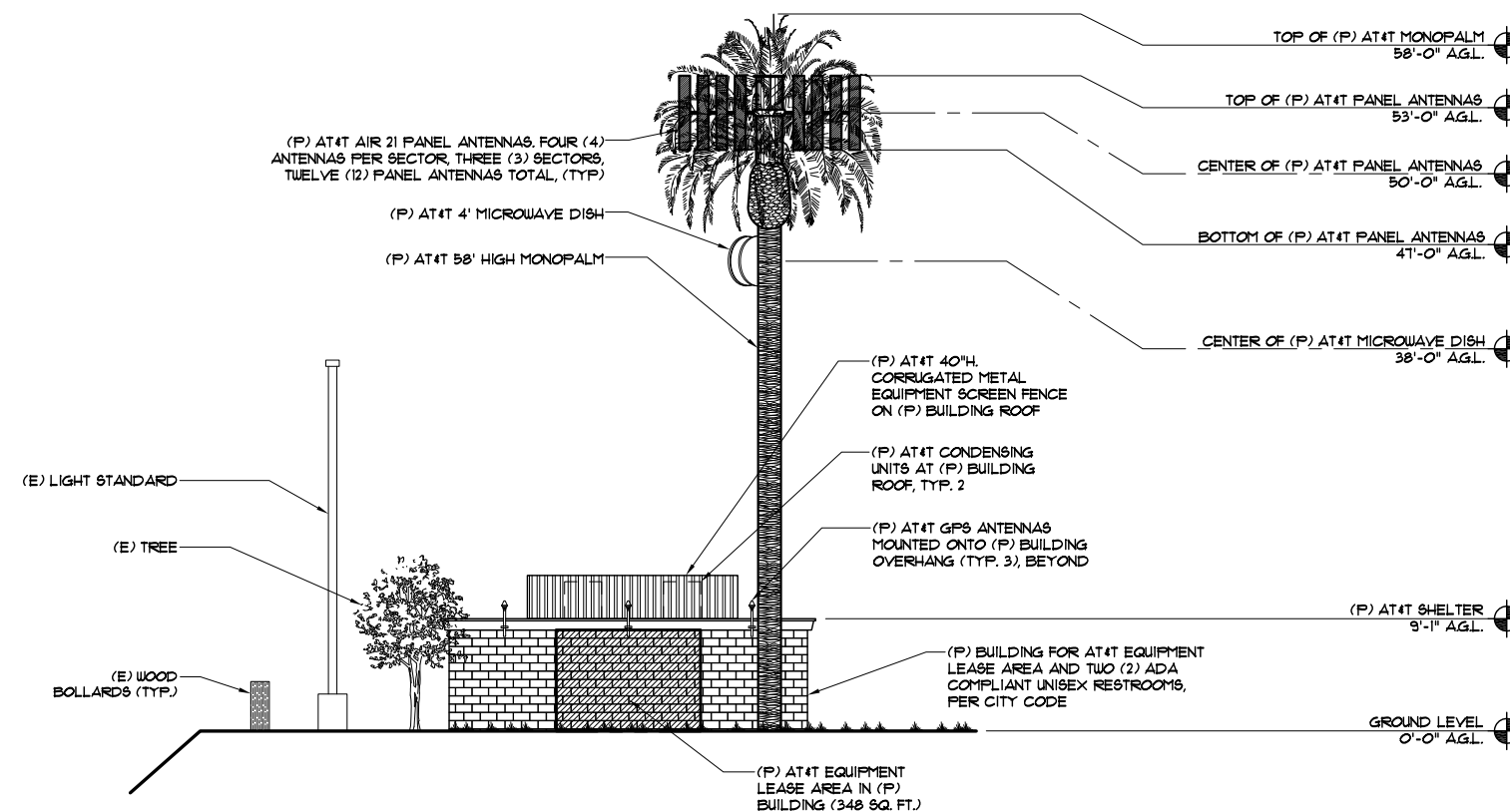


SCALE
1/8"=1'

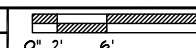


1

NORTH ELEVATION



SCALE
1/8"=1'



2

WEST ELEVATION



12900 PARK PLAZA DRIVE
CERRITOS, CA 90703



12750 CENTER COURT DRIVE
SUITE #600
CERRITOS, CA 90703



1576 BATAVIA ST. STE 1C, ORANGE CA 92667

PH. (714) 685-0123 FAX (714) 685-0125

1	10/08/13	EQUIPMENT RELOCATION
0	09/05/13	100% ZD IFZ
A	08/28/13	90% ZD IFR
REV	DATE	DESCRIPTION

NOT TO BE USED
FOR CONSTRUCTION

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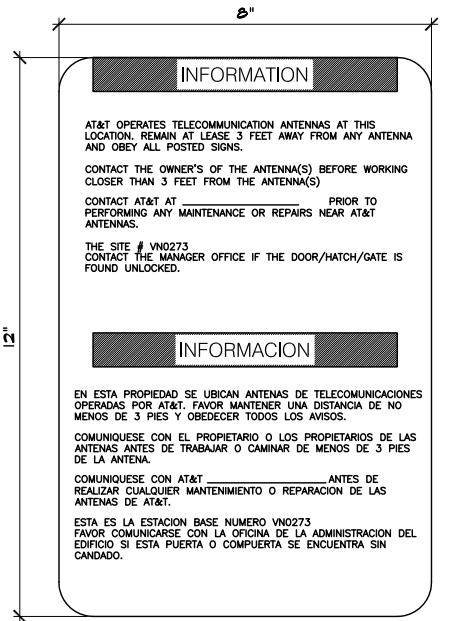
VN0273 (130298)
CHANNEL ISLANDS HARBOR
3821 SOUTH VICTORIA AVENUE
OXNARD, CA 93035
MONOPALM – NSB

SHEET TITLE
RF SIGNAGE

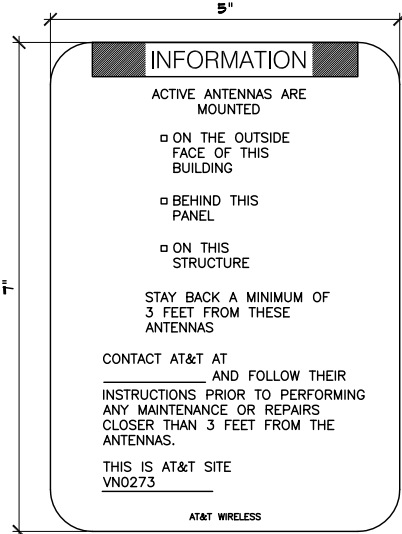
SHEET NUMBER
A-7

NOTE:

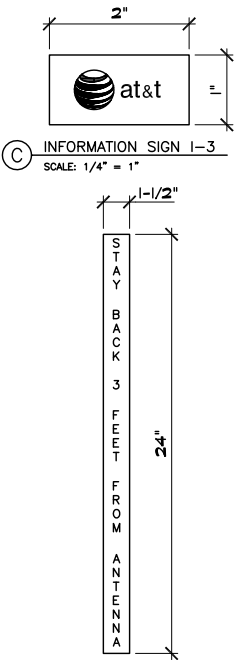
- CONTRACTOR SHALL INSTALL ALL INFORMATION SIGNAGE IN ACCORDANCE WITH at&t WIRELESS DOCUMENT # 03-0014, RF EXPOSURE POLICY AND RF SAFETY COMPLIANCE PROGRAM, LATEST EDITION.
- CONTRACTOR SHALL CONTACT at&t R-RFSC FOR INFORMATION ON MFE LEVELS AND INSTRUCTIONS ON LEVEL AND LOCATION OF SIGNAGE.



A INFORMATION SIGN I-1
SCALE: 1/2" = 1"



B INFORMATION SIGN I-2
SCALE: 3/4" = 1"



C INFORMATION SIGN I-3
SCALE: 3/16" = 1"

- CONTRACTOR SHALL INSTALL ALL INFORMATION SIGNAGE IN ACCORDANCE WITH at&t WIRELESS DOCUMENT #03-0014, RF EXPOSURE POLICY AND RF SAFETY COMPLIANCE PROGRAM, LATEST EDITION.
- FABRICATION:
 - SIGN I-1: ENTRANCE DOOR, SEE DETAIL 1A, THIS SHEET

SIGN I IS TO BE MADE ON THE 50 MIL ALUMINUM SHEETING (SIZE 8 INCHES BY 12 INCHES) WITH FOUR (4) 1/4 INCH MOUNTING HOLES, ONE EACH CORNER OF THE SIGN FOR MOUNTING WITH TIWRAPS. THE MAIN BACKGROUND COLOR IS TO BE WHITE FRONT AND BACK WITH BLACK LETTERING.

THE INFORMATION BAND SHALL BE 12 INCH SOLID GREEN BAND WITH 0.5 INCH HIGH BLACK LETTERING. THE BODY TEXT SHALL BE IN BLACK LETTERING WITH 0.2 INCH HIGH LETTERS. THE REF LINE SHALL BE IN 1/8 INCH LETTERS.

THE PLACEMENT OF TEXT SHALL BE DONE IN A MANNER THAT WILL PERMIT EASY READING FROM DISTANCE OF APPROXIMATELY 6 FEET IN FRONT OF THE SIGN.

ALL PAINT WILL BE BAKED WITH ENAMEL WITH UV PROTECTIVE COATING OVER THE FACE OF THE SIGN.

- SIGN I-2: POLE, SEE DETAIL 1B, THIS SHEET

SIGN 2 MUST BE A NON-METALIC LABEL WITH AN ADHESIVE BACKING. THE LABEL SHALL BE MADE USING VINYL OR SIMILAR WEATHERPROOF MATERIAL. THE LABEL SHALL BE APPROXIMATELY 5 X 7 INCHES WITH A WHITE BACKGROUND AND BLACK LETTERING. THE GREEN BAND SHALL BE 13.75 INCH IN HEIGHT AND THE LETTERING SHALL BE BLACK WITH 0.15 INCH HIGH LETTERS. THE TEXT LETTERING SHALL BE BLACK WITH 1/8 INCH HIGH LETTERS. UV PROTECTION SHALL BE PLACED OVER THE FRONT OF THE LABEL.
- SIGN I-3: BACK OF ANTENNAS, SEE DETAIL 1C # 3, THIS SHEET

SIGN 3 IS A 1 INCH X 2 INCH LABEL THAT CAN BE APPLIED TO THE BACK OR SIDE OF AN ANTENNA TO IDENTIFY IT AS A at&t ANTENNA.
- SIGN I-4: SIDE OF ANTENNAS, SEE DETAIL 1D # 3, THIS SHEET

SIGN 4 IS MADE FROM TRANSPARENT MATERIAL, 1-1/2 INCHES WIDE AND 24 INCHES LONG. THE LETTERING IS TO BE BLACK WITH 1/2 INCH LETTERING IN A VERTICAL COLUMN. THE SPACING BETWEEN WORDS MUST BE SUCH THAT IT IS EASILY READ AND FILLS THE LENGTH OF THE SIGN.

NOT USED

SCALE
N.T.S.

7

WARNING SIGNAGE

SCALE
N.T.S.

4

NOT USED

SCALE
N.T.S.

8

NOT USED

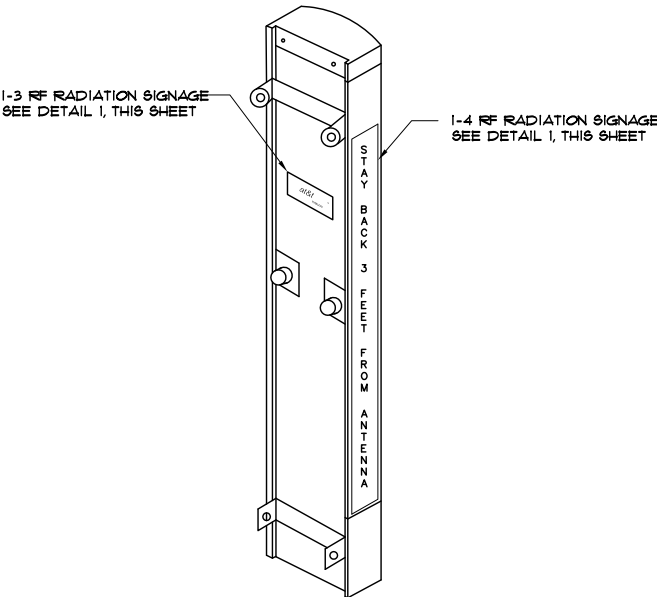
SCALE
N.T.S.

5

INFORMATION SIGNAGE

SCALE
N.T.S.

1



NOTE:

- CONTRACTOR SHALL INSTALL ALL INFORMATION SIGNAGE IN ACCORDANCE WITH at&t WIRELESS DOCUMENT # 03-0014, RF EXPOSURE POLICY AND RF SAFETY COMPLIANCE PROGRAM, LATEST EDITION.
- CONTRACTOR SHALL CONTACT AT&T R-RFSC FOR INFORMATION ON MFE LEVELS AND INSTRUCTIONS ON LEVEL AND LOCATION OF SIGNAGE.



NOT USED

SCALE
N.T.S.

9

NOT USED

SCALE
N.T.S.

6

ANTENNA SIGNAGE

SCALE
N.T.S.

3

CAUTION SIGNAGE

SCALE
N.T.S.

2

**Channel Islands Harbor Public Works Plan Amendment
to Allow for Certain Installations of Telecommunication Infrastructure**

**Evaluation of Environmental Effects
July 22, 2014**

The Ventura County Harbor Department has reviewed the proposed amendment to the Channel Islands Harbor Public Works Plan (PWP) for environmental impacts based on the initial study checklist included in the California Environmental Quality Act (CEQA) Guidelines. The proposed amendment adds a section to the PWP to allow for certain installations of telecommunications infrastructure. This PWP amendment will not have a direct effect on the environment; however, because CEQA requires that environmental review include the project as a whole, the impacts of installing wireless communication facilities and antennas in the Harbor and its vicinity in conjunction with the PWP amendment have been considered.

The PWP amendment includes specific policies regarding installation of wireless communication facilities. The proposed PWP amendment is needed because the PWP currently does not include any policies regarding telecommunications infrastructure in accordance with the guidelines and intent of the federal Telecommunications Act of 1996. The proposed PWP amendment provides policies related to telecommunication facilities to facilitate future construction of adequate infrastructure and the provision of wireless services while protecting the public health, safety and welfare and aesthetic resources in the vicinity.

Aesthetics:

The current PWP designates view corridors from the end of the cul-de-sac on Pelican Way, westward toward the Harbor's water areas and land across the channels. The proposed PWP amendment contains policies requiring a blending of any proposed wireless telecommunication facility into its surrounding environment, with aesthetic screening and sizing of the facility in proportion to surrounding structures, etc. Further, any proposed freestanding telecommunication structures must be designed as "stealth" facilities (such as a palm or pine tree, boat mast, flag pole, etc.) to further blend into the surrounding area. Telecommunication facility "poles" (which have a relatively small diameter) would be permitted, along with requisite landscaping or other screening devices, only on the east side of the Harbor.

No wireless communication facility will be permitted to interfere with any existing public views or degrade the physical character of the surrounding neighborhood. The associated equipment will be housed in architecturally pleasing structures and completely hidden from public view.

All PWP policies related to visual resources will be applied to all permits.

Channel Islands Harbor Public Works Plan
Fifth Amendment to Allow for Certain Installations of
Telecommunication Infrastructure
Evaluation of Environmental Effects
July 22, 2014

Agricultural Resources

The site is not located near any agricultural areas.

Air Quality

Since no additional staffing is anticipated or needed, no additional traffic is anticipated for installations after construction.

There is the potential for some construction related air quality impacts. Any such impacts will be mitigated by the addition of conditions at the time of construction which are anticipated to include the following:

1. All trucks hauling graded or excavated material offsite, if any, shall be required to cover their loads as required by Section 23114 of the California Vehicle Code, with special care taken to preventing spilling onto public streets.
2. All graded and excavated material, exposed soils areas, and active portions of the construction site, including unpaved onsite roadways, shall be treated to prevent fugitive dust. Treatment shall include, but not necessarily be limited to, periodic watering, application of environmentally safe soil stabilization materials, and/or roll-compaction as appropriate. Watering shall be done as often as necessary and reclaimed water shall be used whenever possible.
3. Contractor shall ensure that all construction equipment is maintained and tuned to meet applicable Environmental Protection Agency (EPA) and California Air Resources Board (CARB) emission requirements. At such time as new emission control devices or operational modifications are found to be effective, contractor shall timely implement such devices or operational modifications on all construction equipment.
4. Contractor shall minimize the number of vehicles and equipment operating on site at the same time.
5. At all times during construction activities, contractor shall minimize the area disturbed by clearing, grading, earth moving, or excavation operations to prevent excessive amounts of dust.
6. During periods of high winds (i.e., wind speed sufficient to cause fugitive dust to impact adjacent properties), contractor shall cease all clearing, grading, earth moving, and excavation operations to prevent fugitive dust from being a nuisance or creating a hazard, either onsite or offsite.

Channel Islands Harbor Public Works Plan
Fifth Amendment to Allow for Certain Installations of
Telecommunication Infrastructure
Evaluation of Environmental Effects
July 22, 2014

7. Throughout construction, contractor shall sweep adjacent streets and roads at least once per day, preferably at the end of the day, so that any visible soil material and debris from the construction site is removed from the adjacent roadways.

With the implementation of these conditions, no significant impact to air quality will result from implementation of the proposed PWP amendment.

Biological Resources

Approval of the proposed PWP amendment for the installation of wireless telecommunication facilities will have no impact on endangered, sensitive or special status species. The Harbor is home to many California Brown Pelicans, once on the endangered species list, as well as great blue herons, black crown night herons and snowy egrets, labeled as species of interest by the California Coastal Commission, and other bird species.

Herons have been known to nest and forage in selected areas in the Harbor, including portions of the west side and peninsula. Any applicant for a permit to install telecommunication facilities will be required to demonstrate compliance with the policies in the current PWP related to avian species. Therefore, there will be no adverse impact to any species with the approval of this PWP amendment.

No impacts will occur to riparian, wetland or other sensitive habitats with the approval of the proposed PWP amendment and subsequent construction of telecommunication infrastructure. For any construction that requires grading, the Harbor Department will require the applicant to follow the policies of the current PWP that require new construction to protect Harbor waters from runoff during and after construction. Conditions will be added to address runoff during construction. Any Regional Water Quality permit will require submittal of a storm water pollution prevention plan to be implemented during and after construction.

Cultural Resources

The Channel Islands Harbor is a man-made harbor with soil materials that have previously been graded and disturbed. There are no known cultural, historical or archeological resources within the Harbor or neighboring vicinity. No significant cultural resources impact is anticipated. If any such issue arises, standard conditions regarding preservation of such resources will be implemented.

Channel Islands Harbor Public Works Plan
Fifth Amendment to Allow for Certain Installations of
Telecommunication Infrastructure
Evaluation of Environmental Effects
July 22, 2014

Geology and Soils

The Harbor is located on the Oxnard Plain, an area known for expansive soils and subject to liquefaction during a seismic event. Construction of any structure in the area is required to meet the requirements of current Building Code as to structural needs for these types of soils. Compliance with the current Building Code will reduce any potential impact to less than significant.

Hazards and Hazardous Materials

There will be no storage of hazardous materials onsite. Telecommunication facilities are regulated by the FCC, as to the electro magnetic radiation produced and potential hazards to the public. Policies require that any antenna must be constructed at least 8.5 feet above walking surfaces. Therefore, no impact is anticipated.

Hydrology and Water Quality

Most runoff drains directly into the Harbor waters. Where necessary, construction of any telecommunications facility will require compliance with current storm water quality standards, which include providing bioswales to filter runoff or biofilters. Policies in the current PWP require reduction of runoff with new construction and these will be incorporated into permit conditions. Therefore, no significant impact to hydrology or water quality will occur from approval of the proposed PWP amendment.

Land Use

The proposed PWP amendment will allow for the installation of wireless telecommunication facilities. All installations must be consistent with the City's Local Coastal Plan as well as the PWP. The proposed PWP amendment will provide policies related to telecommunication facilities as the means to obtain adequate infrastructure and provide telecommunication services while protecting the public health, safety and welfare and preserving adjacent aesthetic resources.

Mineral Resources

There are no mineral resources on or near the Harbor and, therefore, no impacts to mineral resources are anticipated.

Channel Islands Harbor Public Works Plan
Fifth Amendment to Allow for Certain Installations of
Telecommunication Infrastructure
Evaluation of Environmental Effects
July 22, 2014

Noise

Construction of any facility will result in temporary noise impacts from demolition, grading and construction equipment. As a result, standard conditions will be imposed to limit construction noise to reasonable levels and hours of the day. This will result in construction noise that is less than significant. No other noise impacts are anticipated.

Population and Housing

It is anticipated that the installation of any telecommunications facility will not involve an increase in staff or require any housing for contractor personnel. Therefore, no adverse impacts to population and housing are anticipated.

Public Services

The proposed PWP amendment provides policies related to telecommunication facilities as a way to obtain adequate infrastructure and provide wireless services while protecting the public health, safety and welfare and preserving adjacent aesthetic resources.

Current cell phone and data service within the Harbor area is inadequate. Installation of additional infrastructure is needed and thus will have a positive impact on public services in the area.

Recreation

The proposed PWP amendment does not anticipate any adverse impact to recreational uses within the Harbor. Improved wireless services should enhance the recreation experience.

Transportation/Traffic

As discussed under Air Quality above, installation of telecommunications facilities is not expected to increase local traffic in any significant manner. No additional employees or services that generate new traffic trips are anticipated other than during construction, which additional trips should be insignificant. No new on-site parking demands are anticipated.

Channel Islands Harbor Public Works Plan
Fifth Amendment to Allow for Certain Installations of
Telecommunication Infrastructure
Evaluation of Environmental Effects
July 22, 2014

Utilities and Service Systems

The provision of policies for wireless communication infrastructure in the Channel Islands Harbor is intended to improve the availability of cell phone services and data transmission thereby improving local utility and service systems. All other utilities required to serve these facilities are currently available and any use for these facilities will not impact their availability for others.



Proposed Project Site

Channel Islands Harbor



Distance of Nearest Heron Nesting Tree to Proposed Project Site

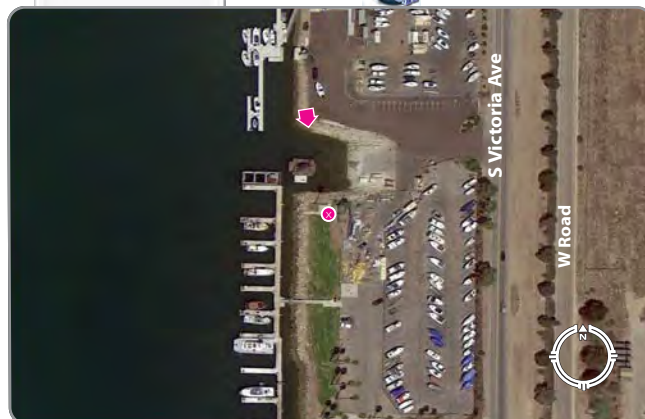
Channel Islands Harbor



Photographs of Existing Public Restroom



LOCATION



View from the North looking South

EXISTING



PROPOSED



Site Note: Existing Restrooms to be remodeled per land lord and city requirements.

APPLICANT

AT&T
12900 Park Plaza Drive
Cerritos, CA 90703

CONTACT

Reliant Land Services
Maryann Harwood
1588 N. Batavia St. C
Orange, CA 92867
p 847.571.2738



Completed November 18, 2013

BLUE WATER DESIGN

1741 Tustin Ave. 19A
Costa Mesa, CA 92627
bluewater-design.net
michelle@bluewater-design.net
p 714.473.2942
f 949.631.2316

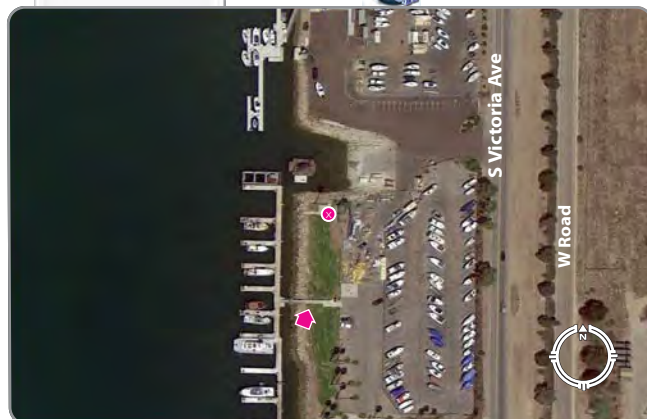
VN0273
Channel Islands Harbor
3821 South Victoria Avenue
Oxnard, CA 93035

VIEW 1

Photo simulation accuracy is based on information provided to Blue Water Design by the applicant.



LOCATION



View from the Southwest to the Northeast

EXISTING



PROPOSED



PROPOSED
MONOPALM
LOCATION

Site Note: Existing Restrooms to be remodeled per land lord and city requirements.

APPLICANT

AT&T
12900 Park Plaza Drive
Cerritos, CA 90703

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VN0273
Channel Islands Harbor
3821 South Victoria Avenue
Oxnard, CA 93035

VIEW 2

Photo simulation accuracy is based on information provided to Blue Water Design by the applicant.



LOCATION



View from the West looking East

EXISTING



PROPOSED



Site Note: Existing Restrooms to be remodeled per land lord and city requirements.

APPLICANT

AT&T

12900 Park Plaza Drive
Cerritos, CA 90703

CONTACT

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Maryann Harwood
1588 N. Batavia St. C
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f 949.631.2316

VN0273
Channel Islands Harbor
3821 South Victoria Avenue
Oxnard, CA 93035

VIEW 3

Photo simulation accuracy is based on information provided to Blue Water Design by the applicant.



NOID Posting at Proposed Project Site